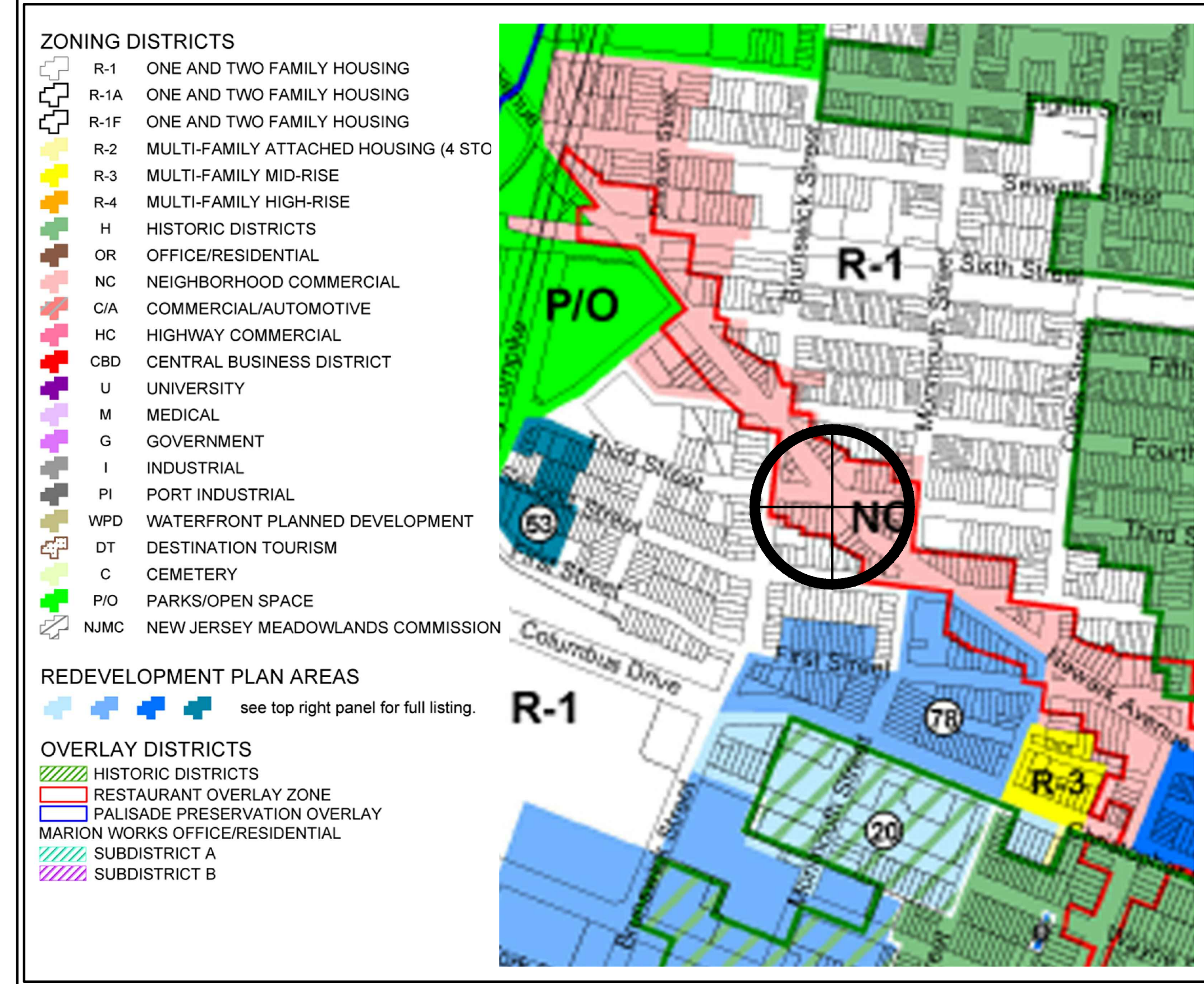


NEW 6 STORY, MIXED-USE BUILDING WITH 1 GROUND FLOOR  
COMMERCIAL UNIT AND 22 RESIDENTIAL UNITS AT:  
**285 NEWARK AVENUE**

BLOCK 11004 (FORMERLY 387); LOT 6; JERSEY CITY  
HUDSON COUNTY, NEW JERSEY 07302

DRAWING LIST	
Z-1	TITLE SHEET: KEY PLAN, VICINITY MAP, ZONING TABULATION CHART
Z-2	EXISTING SITE SURVEY AND PROPOSED SITE IMPACT PLAN
Z-3	SITE PLAN SHOWING LIGHTING, LANDSCAPING AND FLOOD MANAGEMENT DETAILS
Z-4	SITE PLAN SHOWING UTILITIES AND UTILITY CONNECTION NOTES
Z-5	CURB AND SIDEWALK DETAILS - JC STANDARDS
Z-6	SITE DETAILS
Z-7	PROPOSED 1ST FLOOR AND MEZ. LEVEL PLANS
Z-8	PROPOSED 2ND - 5TH FLOOR PLAN
Z-9	PROPOSED 6TH FLOOR PLAN
Z-10	PROPOSED ROOF FLOOR PLAN
Z-11	ROOFING DETAILS
Z-12	BUILDING ELEVATIONS
Z-13	BUILDING ELEVATIONS

ZONING TABULATIONS					ZONE NC	
NEIGHBORHOOD COMMERCIAL DISTRICT						
		ORDINANCE	PROPOSED	VAR. REQ'D.	BUILDING AREA:	
345-45 B(1)	PERMITTED USE	RETAIL, OFFICES	1 COMMERCIAL UNITS	NO	1ST - 6TH FLOOR:	= 5,113 SF
345-45 B(2)		RESIDENTIAL ABOVE GROUND FLOOR	22 RESIDENTIAL UNITS	NO	FOOTPRINT LOT COVERAGE	= 84.5%
345-45 D(2)	LOT AREA (MIN.)	2,500 S.F.	5,711 S.F.	NO	* = PRE-EXISTING NON-CONFORMING LOT CONDITION	
345-45 D(3)	LOT WIDTH (MIN.)	25.00'	86'-4.5" ON NEWARK AVE. 19'-4" ON THIRD ST.	NO*		
345-46 D(4)	LOT DEPTH (MIN.)	100.00'	VARIES	NO*	NOTE A - PARKING CALCULATION: DWELLING UNITS: SHALL PROVIDE ON SITE, MIN. OF 1.0 SPACES PER UNIT = 22 SPACES RETAIL SPACE: 1 SPACE PER 600 SF, EXCLUDING THE FIRST 5,000 SF OF GROUND AREA = 0 SPACES REQUIRED	
345-45 D(5)	FRONT YARD SETBACK	NONE	0'-0" ON NEWARK AVE. 0'-0" ON THIRD ST.	NO		
345-45 D(6)	SIDE YARD SETBACK MIN.	NONE	0'-0"	NO	NOTE B - BICYCLE PARKING SPACES CALCULATION: RESIDENTIAL USE: SHALL PROVIDE ON SITE, MIN. OF 0.5 SPACES PER UNIT = 11 SPACES RETAIL USE: NOT REQUIRED ON SPACES LESS THAN 6,000 S.F. = 4 SPACES PROVIDED	
345-45 D(7)	REAR YARD SETBACK MIN.	15'-0" MIN.	15' PARALLEL TO 3RD ST. 21'9" PARALLEL TO NEWARK AVE.	NO		
345-45 D(8)	BUILDING HEIGHT (MIN.)	3 STORIES	6 STORIES, 70'-0"	YES	NOTE C - ROOF APPURTENANCES COVERAGE CALCULATION: ROOF AREA = 3,052 SF ROOF COVERAGE = STAIR, ELEVATOR BULKHEADS, VESTIBULE & TOILET = 360 SF ROOF MOUNTED MECHANICALS = 110 SF TOTAL = 600 SF = 19.6% LESS THAN 20%	
345-45 D(9)	BUILDING HEIGHT (MAX.)	5 STORIES		YES		
345-45 D(9a)	MIN. FLOOR TO CEILING HGT. (ALL EXCEPT PARKING)	9'-0"	1ST FLOOR COMMERCIAL: 20'-0" (FLR. TO FLR.) 2ND-6TH FLRS: 10'-0" (FLR.-TO-FLR.) (9' CEILING)	NO		
345-45 D(9b)	MAX. FLOOR TO CEILING HGT. (RESIDENTIAL ONLY)	12'-0"		NO		
345-45 E(2)	OFF-STREET PARKING	REQ. ON LOTS OVER 50' WIDE	OFF-STREET PARKING NOT PROVIDED	YES		
345-45 E(2c)	PARKING SPACES (MIN.)	22 (SEE NOTE A)	0	YES		
345-60 G(4)	ROOF APPURTENANCES	20% MAX (SEE NOTE C)	19.6%	NO		
345-70 C	BICYCLE PARKING (MIN.)	11 (SEE NOTE B)	12 INT. + 4 EXT.	NO		



THE APPLICANT WILL ADDRESS AND/OR COMPLY WITH THE COMMENTS OF THE JERSEY CITY REVIEW AGENTS

JERSEY CITY ZONING BOARD	
CHAIRMAN _____	DATE _____
SECRETARY _____	DATE _____
ZONING BOARD APPROVAL _____	



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NY License # 32710-1

#	Date	Revision
-	07/06/17	ZONING SET VNA
-	07/04/17	ZONING SET
-	03/22/17	CLIENT REVIEW

Project Number : 17-1351  
Drawn by : MS  
Checked by : FJM, ACV  
Scale: : As noted

Client  
RAYMOND ESHAGHOFF  
BSG MANAGEMENT COMPANY

Address  
285 NEWARK AVENUE  
BLOCK 11004, LOT 6  
JERSEY CITY, NJ 07302

Project Description  
NEW 6 STORY, MIXED-USE  
BUILDING WITH A GROUND  
FLOOR COMMERCIAL UNIT, AND  
22 RESIDENTIAL UNITS

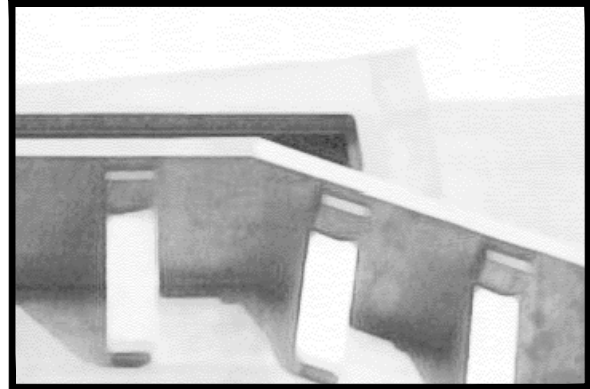
Sheet Title  
TITLE SHEET:  
-KEY PLAN  
-VICINITY MAP DIAGRAM  
-ZONING TABULATION  
CHART

Drawing No.  
**Z-1**









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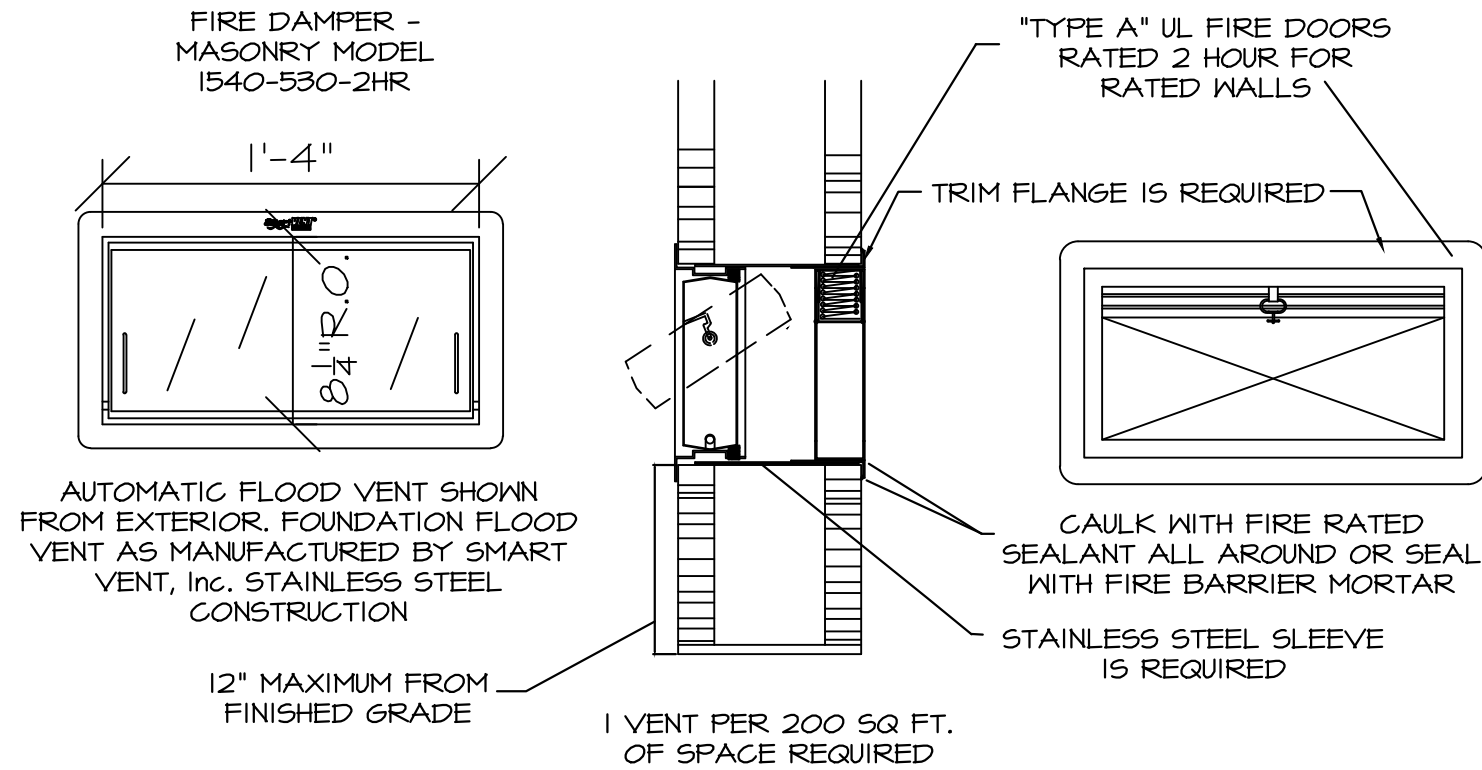
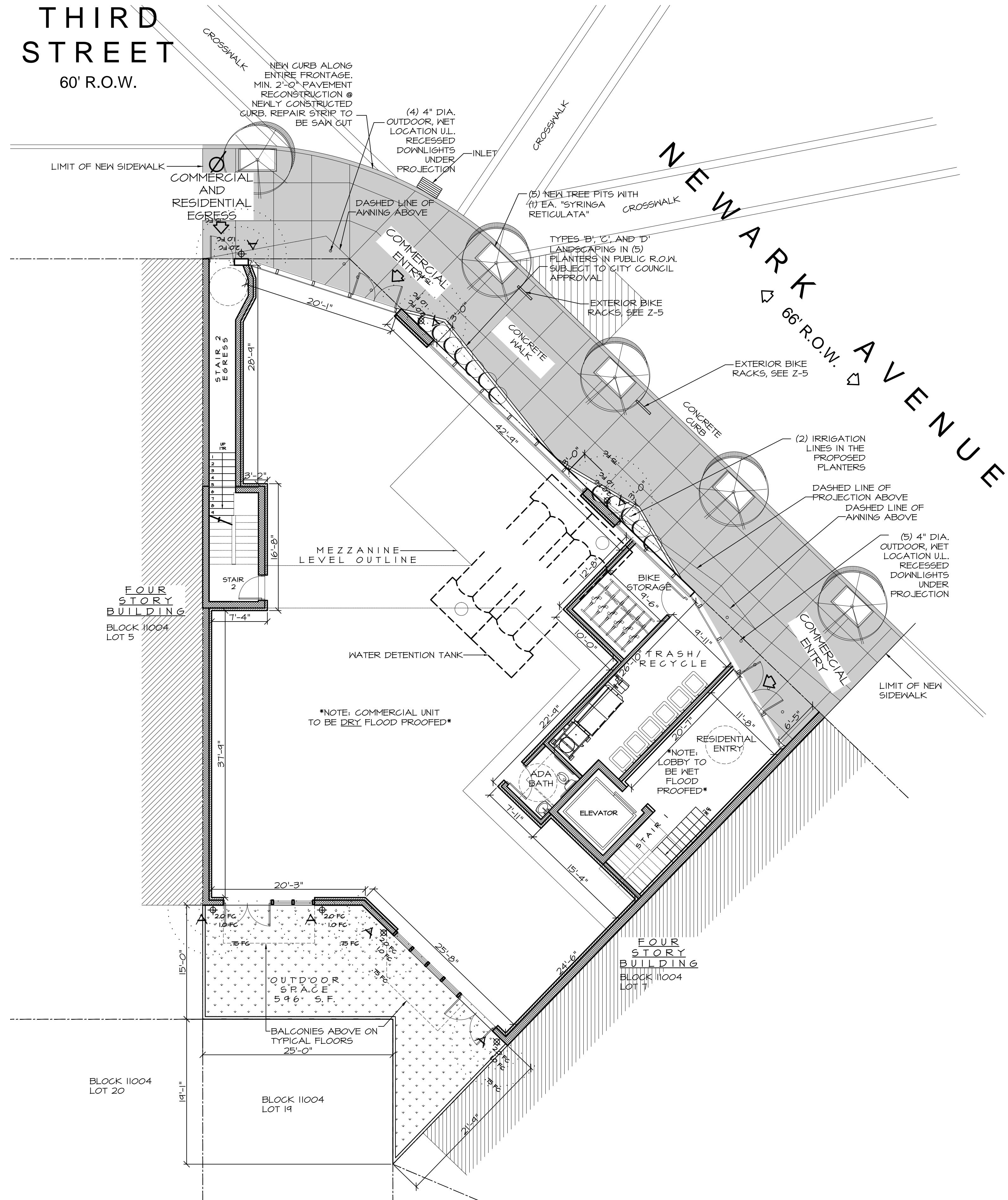
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Sheet Title  
LIGHTING & LANDSCAPING  
PLAN  
DETAILS

Drawing No.

Z-3

THIRD  
STREET  
60' R.O.W.



		
<h2>INSULATED Combination Models</h2> <p>SOME ASSEMBLY REQUIRED FOR STACKER MODELS   ONE PIECE QUAD MODELS</p>		
<b>MODEL #</b>	1540-521 STACKER	1540-150202E QUAD (1540-0239 DOORS)
<b>INSTALLATION TYPE</b>	Masonry Wall	Insulated
<b>STYLE</b>		
<b>DIMENSIONS</b>	16" W x 16" H x 3" D	32 1/2" W x 16" H x 3" D
<b>R.O.</b>	16 1/4" x 16 3/8"	33" x 16 3/8"
<b>CERTIFIED FOR</b>	400 sq. ft. FLOOR COVERAGE	800 sq. ft. FLOOR COVERAGE

SMART VENT 1540-150202E 'QUAD'

(4) INSULATED FLOOD VENTS

ENTERING FLOOD WATER LIFTS THE PATENTED INTERNAL FLOATS WHICH UNLATCH AND ALLOW THE DOOR TO ROTATE OPEN. THIS ALLOWS THE FLOOD WATER TO AUTOMATICALLY ENTER AND EXIT THROUGH THE FRAME OPENING, RELIEVING THE PRESSURE FROM THE FOUNDATION WALLS

SMARTVENT FLOOD VENT CALCULATIONS  
1 VENT REQUIRED FOR EVERY 200 SQ FT AREA

1ST FLR AREA (NON-COMMER.) = 1,000 SQ FT  
NO. OF VENTS REQUIRED @ EXTERIOR = 6  
NO. OF VENTS PROPOSED @ EXTERIOR = 6

## FLOOD VENT DETAILS & CALCULATIONS

NOT TO SCALE



FLOOD PANEL AND POST SYSTEM  
BY FLOOD PANELS LLC.  
INSTALLED TO 1'-0" ABOVE BASE FLOOD ELEVATION

GRADE = 6.50' - 7.00' NAVD 88  
A.B.F.E.+ 1' = 13'-0" NAVD 88  
FLOOD PANEL HEIGHT = 6'-0" - 6'-6" (MIN.) = USE 6'-6"

SOLID REMOVABLE PANEL FLOOD BARRIERS DO NOT REQUIRE 45 DEGREE SUPPORT BRACES. THE BARRIERS ARE MOUNTED ON REMOVABLE VERTICAL POSTS.

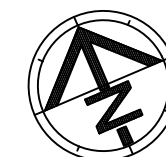
## FLOOD PANEL DETAILS (COMMERCIAL SPACE)

NOT TO SCALE

## LIGHTING & LANDSCAPING SITE PLAN

SCALE 1/8" = 1'-0"

0' 2' 4' 8' 16' 32'





1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JERSEY CITY MUNICIPAL UTILITIES AUTHORITY'S (JCMUA) BUREAU OF WATER ENGINEERING FOR APPROVAL.

2. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAXIMUM OF ONE (1) TAP SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY UNITED WATER JERSEY CITY (UWJC) UNLESS SPECIFICALLY APPROVED BY JCMUA.

3. ONLY ONE DOMESTIC/FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METERS ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE OWNER/TENANT FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED.

4. A SOLID IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE TAP IS MADE.

5. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT; A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE NET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC.

6. FOR TAPS OFF MAIN SIXTEEN (16) INCHES AND LARGER, THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, AND SPECIAL WRITTEN APPROVAL IS ISSUED BY THE JCMUA.

7. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES / STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES / STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.

8. ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES SHALL BE PRESSURE CLASS 350-PSI, CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS.

9. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.

10. FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2'), A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS, AMES 5000 RPDA OR WATTS 904 RPDA) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE AND A REDUCED PRESSURE BACKFLOW PREVENTER ON THE BYPASS (AMES 4000 SS OR WATTS 909). ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 15" OR 2'), A FIRE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000 DCV) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 904) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS. ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OS&Y VALVES, HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (VICTAULIC SERIES 720 FIRELOCK) INSTEAD OF OS&Y VALVES. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8 INCH X 3/4 INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METERS WITH TOUCH PAD RADIO READ CAPABILITIES. THE SAME RADIO MXU UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.

11. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 904) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SEWAGE EJECTORS.

12. IF A REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQUIRED ON THE DOMESTIC SERVICE, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.

13. ALL METERS SIZES 2 INCHES THROUGH 6 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MANIFOLD METERS.

14. ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEANS SUCH AS UNIFLANGES WHERE INTERNAL PIPE PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE.

15. ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT.

16. EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT.

17. ALL METERS 2" AND LARGER SHALL BE FURNISHED WITH SENSUS ECR/MP REMOTE TOUCH PAD MODULES AND RADIO MXU UNITS FOR BOTH TYPES OF READING CAPABILITIES.

18. REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSIBLE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKETS AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO THE STREET.

19. ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

20. ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO MXU UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.

21. AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP AND METER) THE APPLICANT SHALL CALL UWJC AT (201) 234-1100 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFETY.

22. UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS.

1. BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NJDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.

2. ALL SEWER SERVICE CONNECTIONS 6-INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8-INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE. WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL MAY REQUIRE MODIFICATION.

3. THE JCMUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE TELEVIEWED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY DEFECTS.

4. EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWINGS). T-WYE CLEANOUTS WHICH ENABLE CLEANING IN BOTH DIRECTIONS SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.

5. PROPOSED SEWER LATERAL CONNECTION TO JCMUA'S SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS).

6. THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. IN ADDITION, MANHOLE INVERTS AND RIM ELEVATION MUST BE SHOWN ON PLANS. THIS VERIFICATION IS TO BE INCLUDED ON THE PLANS FOR THE PROJECT.

7. CIRCULAR HOLE SAWS WHICH ARE APPROXIMATELY SIZED OR HAND DRILLED MUST BE USED TO MAKE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA'S SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO PIPE.

8. A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO RIM, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON PLANS.

9. PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY CO., PATTERN #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31-3/4 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES.

THE LETTERS "JCMUA" AND "SEWER" SHALL BE CAST IN THE INSIDE COVER. MANHOLE FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN #4428 (FOR 30-INCH OPENING) OR #1206 (FOR 41-INCH OPENING) OR EQUAL FURNISHED WITH A PATER #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH. REFER TO JCMUA'S STANDARD DETAIL FOR MANHOLE FRAME AND COVERS.

10. STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWER MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCMUA STANDARD DETAILS.

11. THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.

12. A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO ATTACHED JCMUA'S STANDARD DETAIL FOR DROP MANHOLE CONNECTION WHICH MUST BE SHOWN ON SITE PLAN IF REQUIRED.

13. TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.

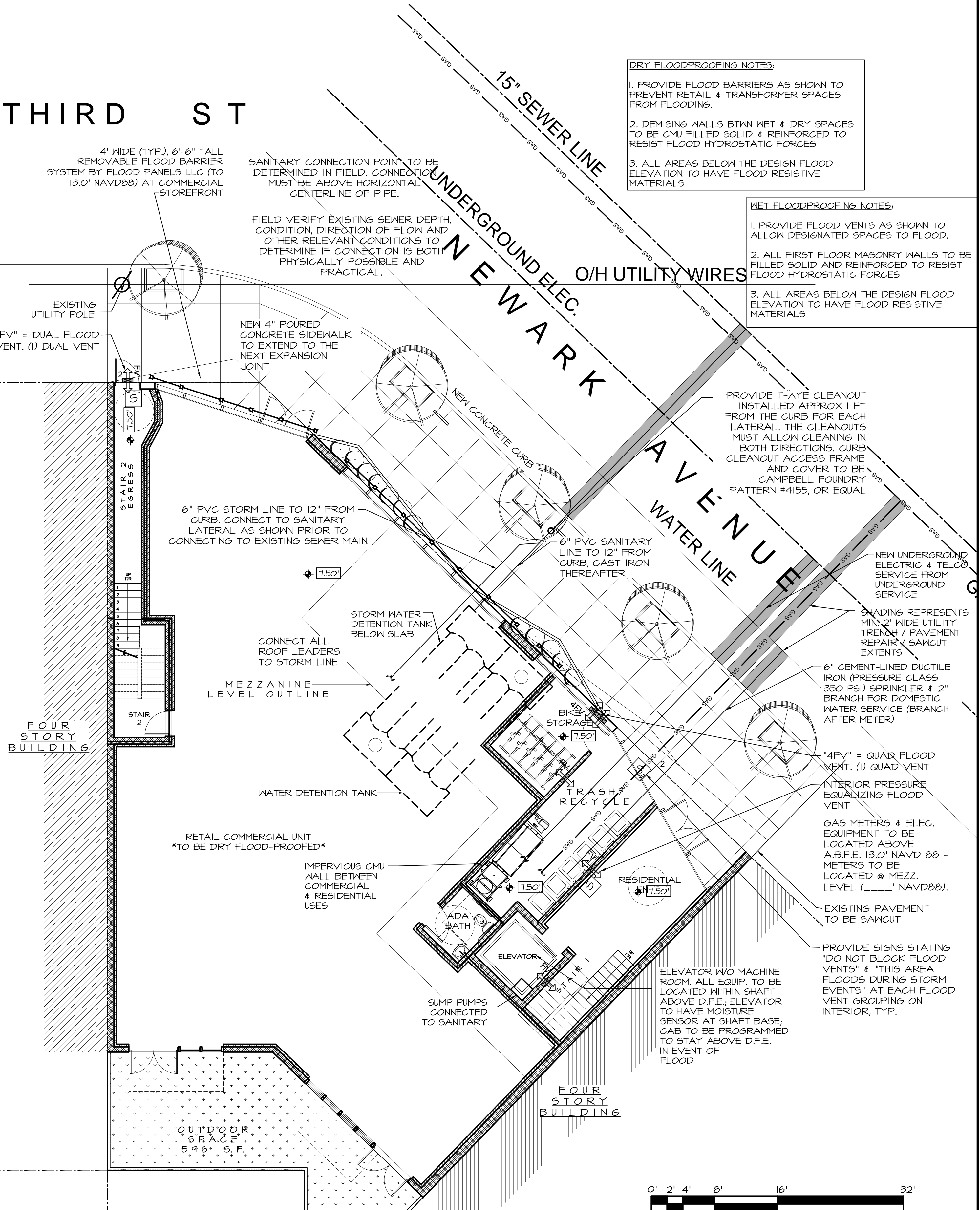
14. ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE SLURRY OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTION(S).

15. ALL PROPOSED INLET/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL FOUNDRY CO. TYPE 'N' CURBPIECE WHERE REQUIRED.

16. PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATER ENGINEERING.

17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MONTGOMERY STREET, JERSEY CITY, NJ AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION.

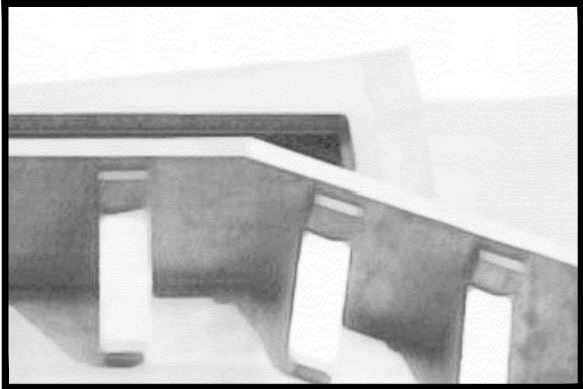
THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NJDEP RULES AND REGULATIONS GOVERNING TREATMENT WORKS APPROVAL PROGRAM, LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS ETC. IN ADDITION TO OTHER REQUIREMENTS THAT MAY BE IMPOSED BY THE JCMUA.



UTILITY CONNECTION & FLOOD MITIGATION PLAN  
SCALE 1/8" = 1'-0"

## JCMUA REQUIREMENTS FOR FIRE & DOMESTIC WATER LINE & METER INSTALLATION

## JCMUA REQUIREMENTS FOR NEW SANITARY & STORM SEWERS AND SERVICE LATERALS



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Sheet Title

UTILITY CONNECTION &  
FLOOD MITIGATION PLAN

JCMUA NOTES

Drawing No.

Z-4



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City of Jersey City  
Division of Engineering  
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JERSEY CITY, NEW JERSEY 07305  
(201) 547-4412



1	Extensive Changes Made	7/09
NO.	REVISIONS	DATE

CITY OF JERSEY CITY  
STANDARDS

NO.	REVISIONS	DATE
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William R. Goble, P.E.  
Director  
Division of Engineering  
NJ P.E. Lic. No. 24798

Construction Standards  
Curb and Sidewalk

DRAWN BY	DESIGNED BY	CHECKED BY
PROJECT NO.	CADD FILE	SCALE

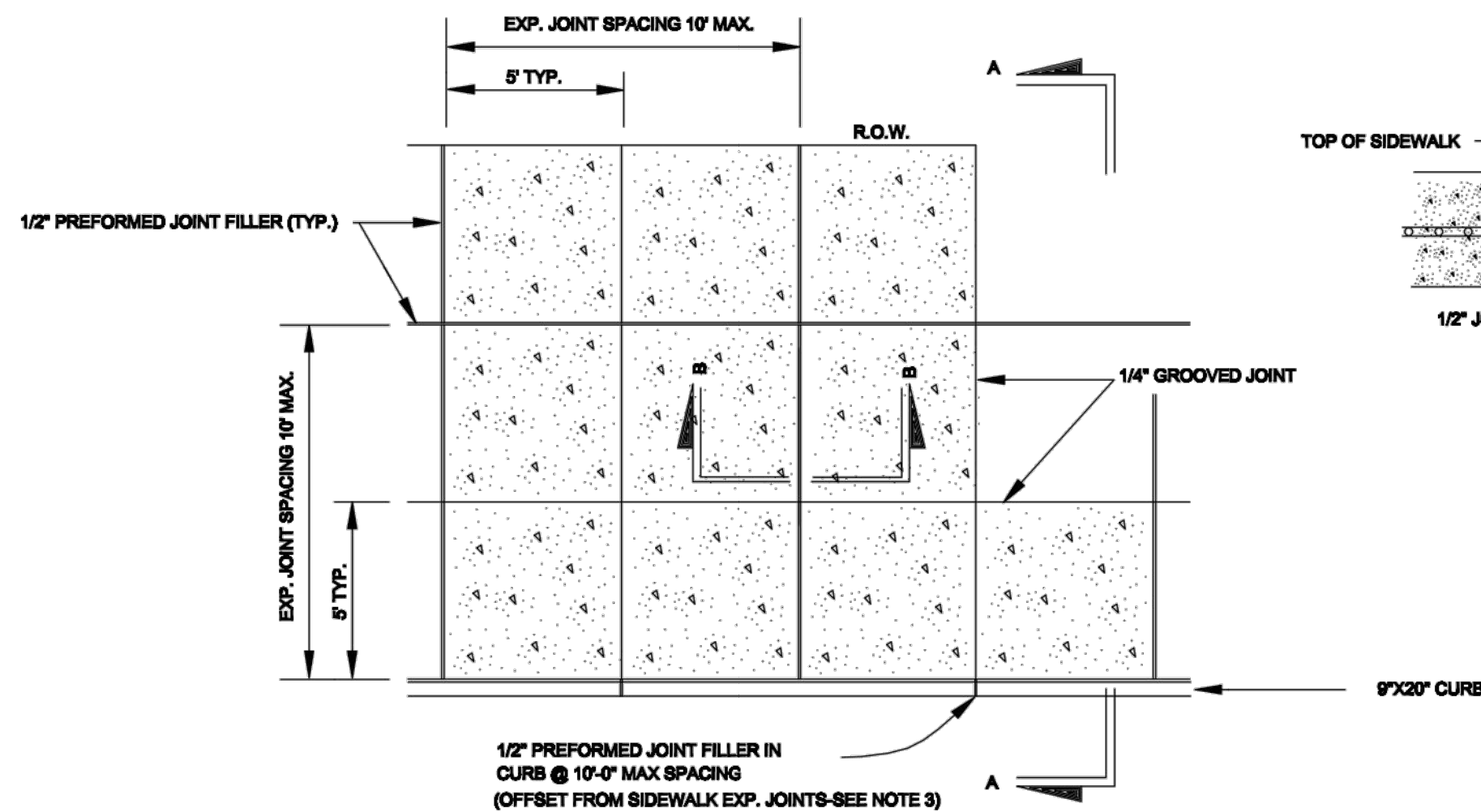
DRAWING

SHEET

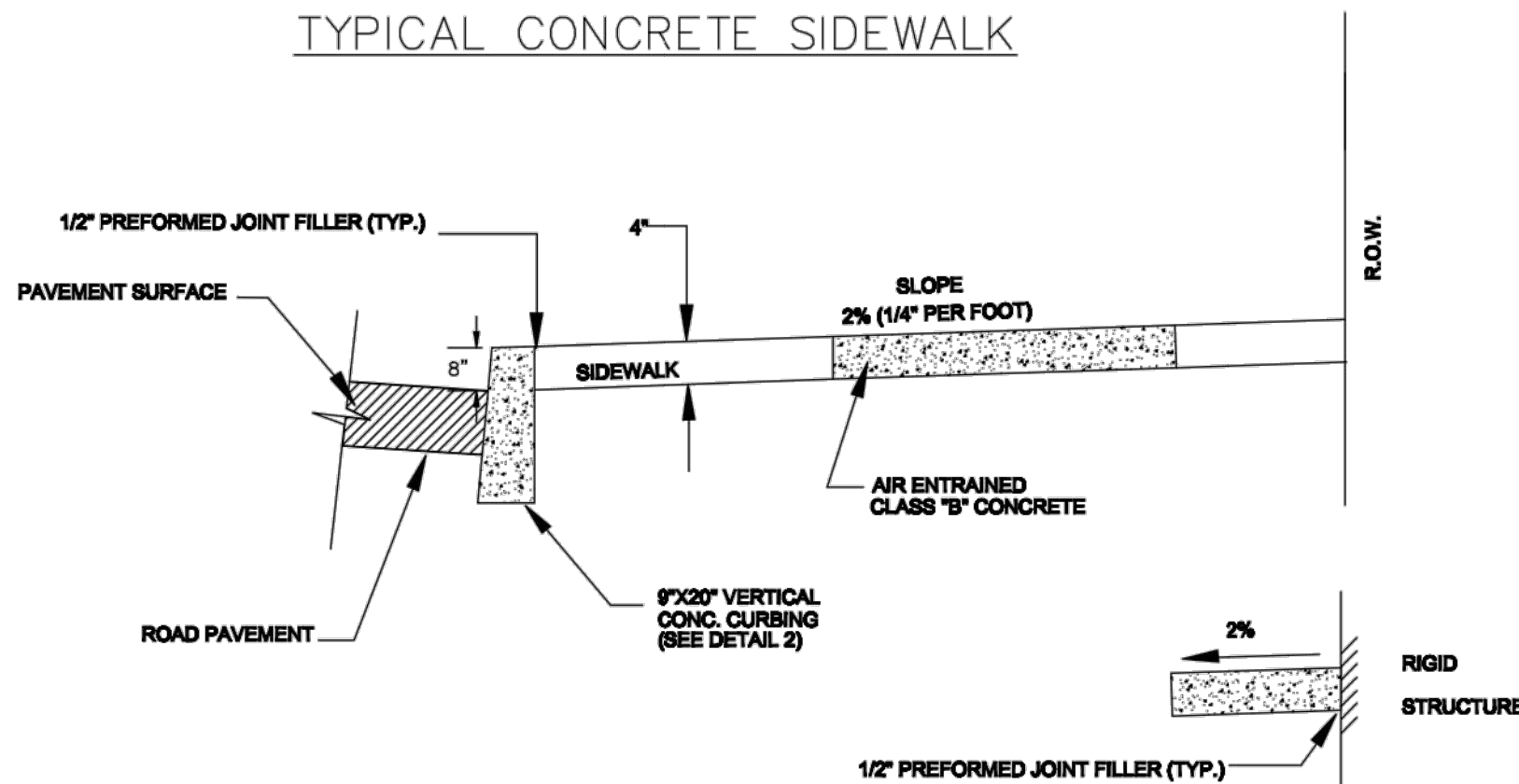
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Drawing No.

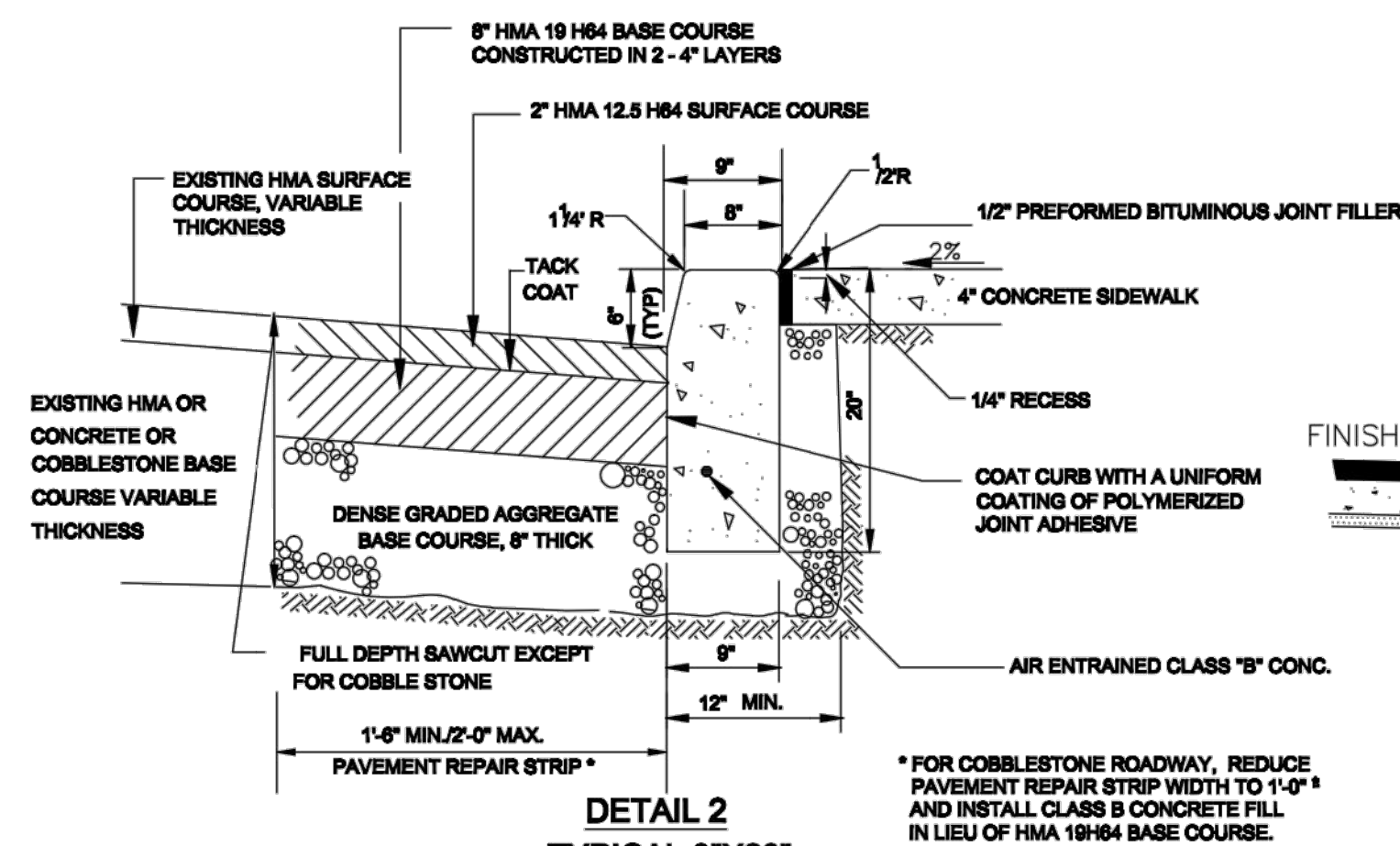
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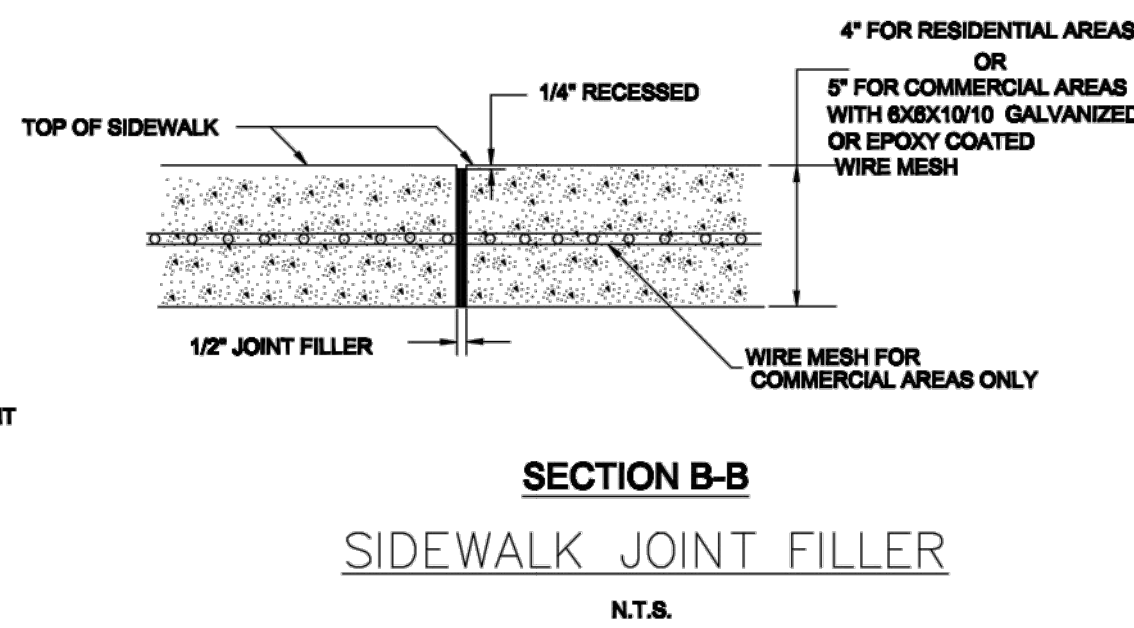
PLAN  
TYPICAL CONCRETE SIDEWALK



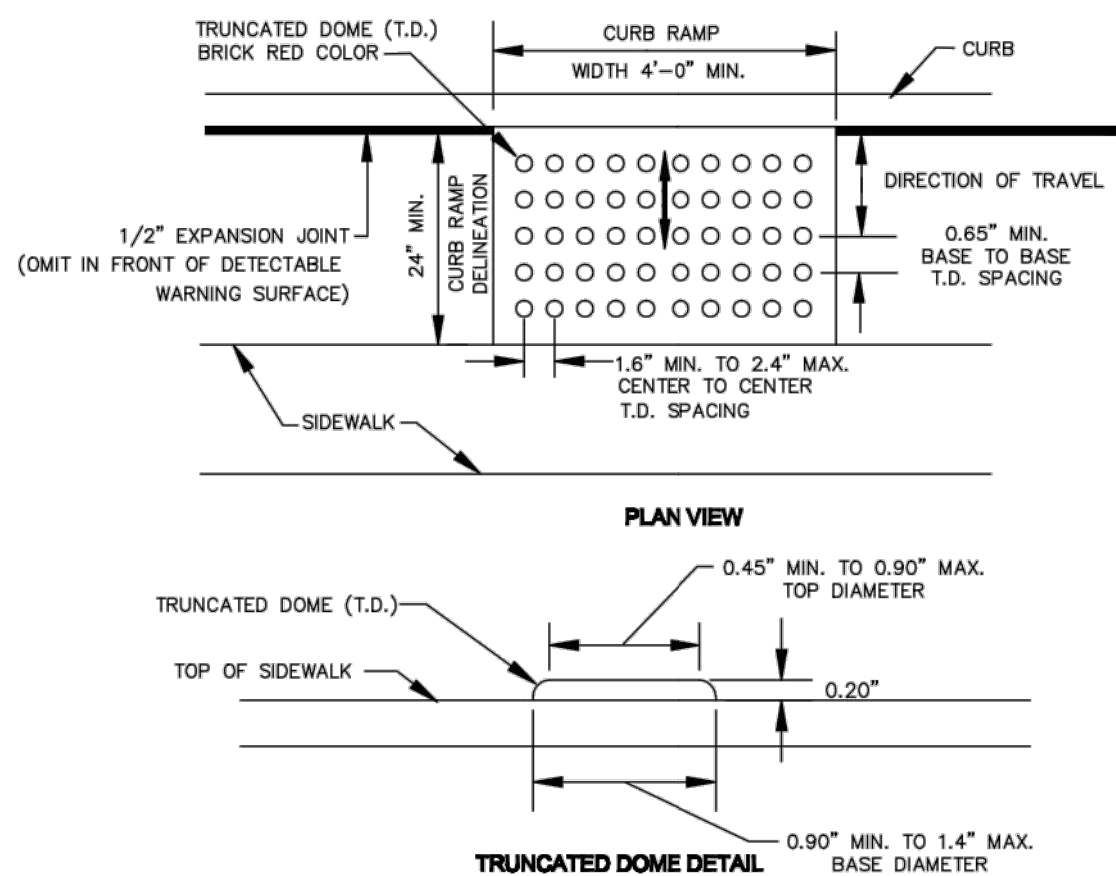
SECTION A-A  
N.T.S.



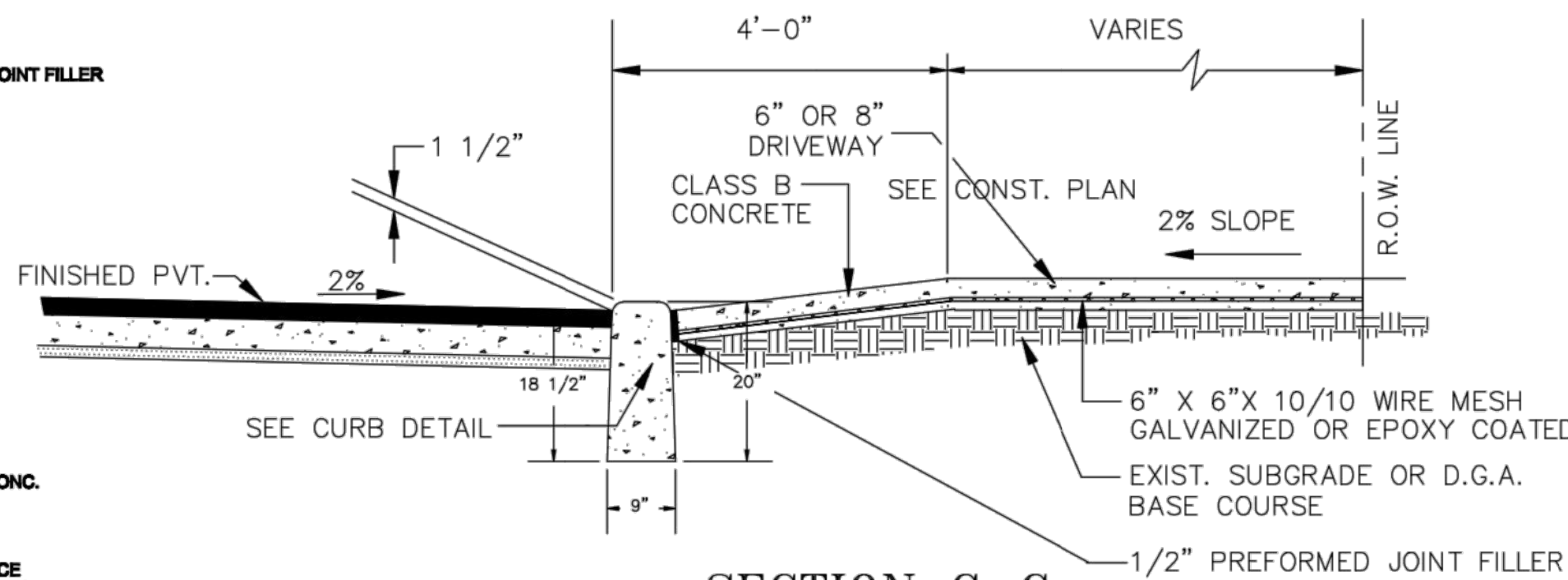
VERTICAL CONCRETE  
CURBING/PAVEMENT REPAIR  
N.T.S.



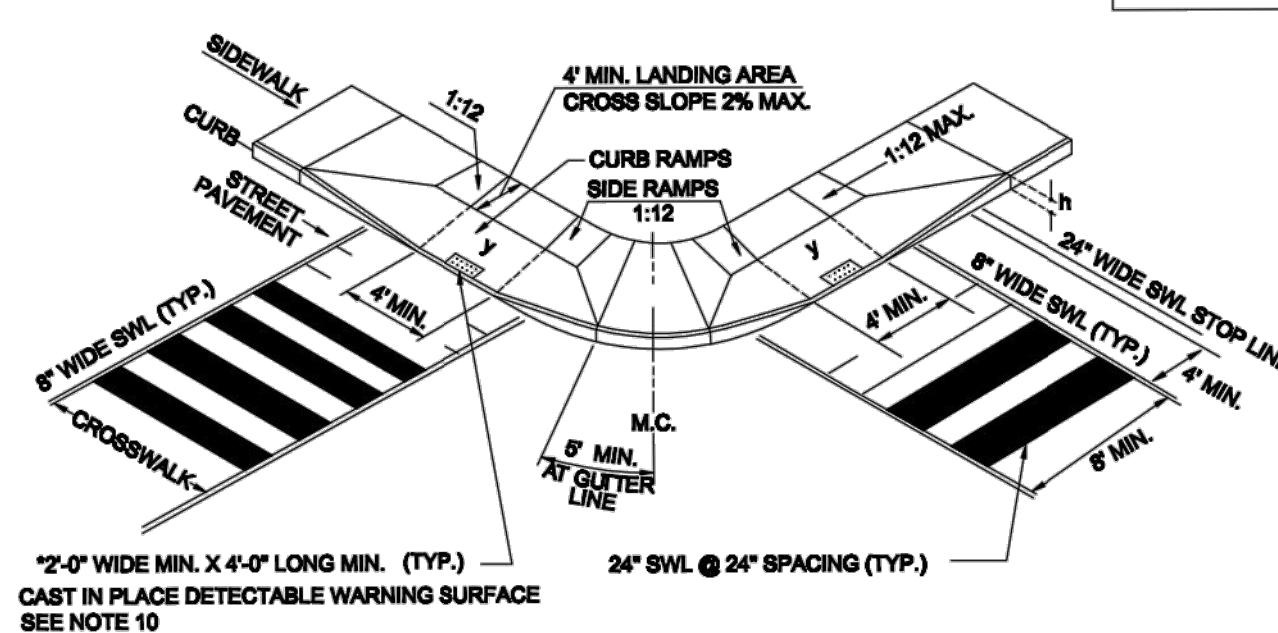
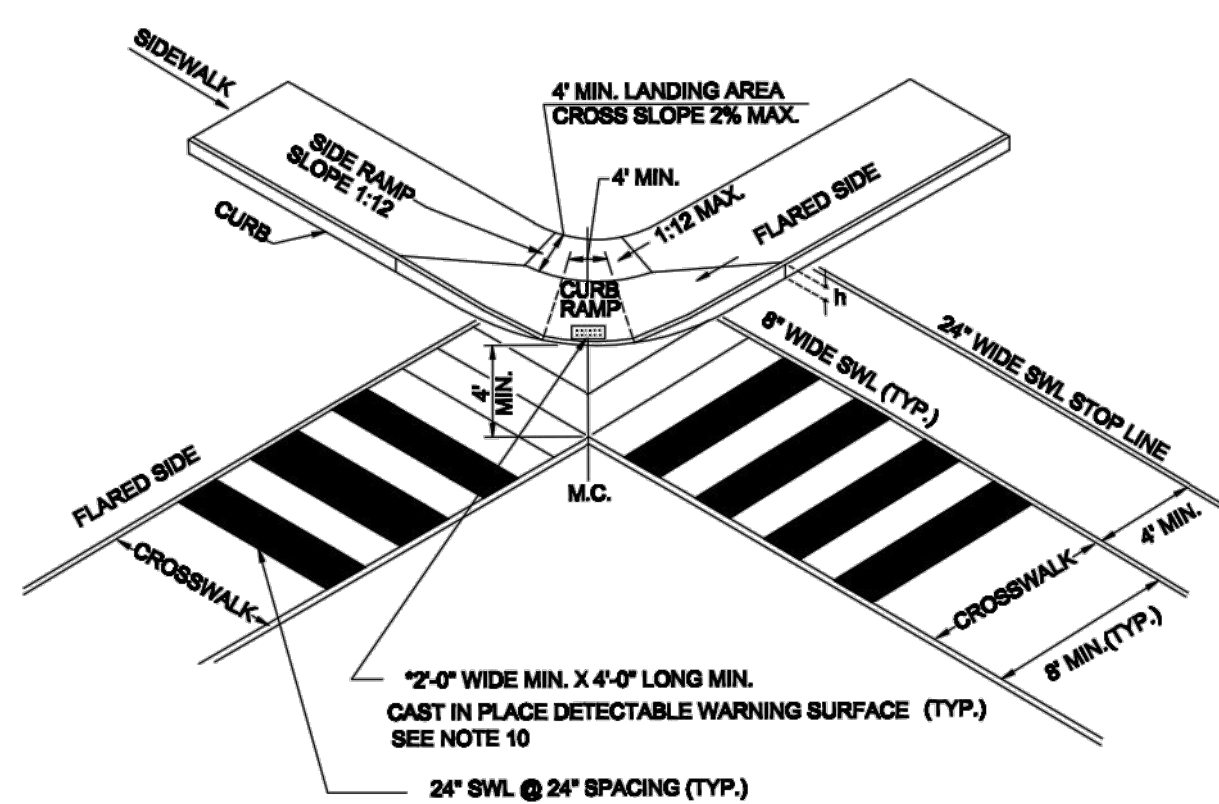
SINGLE HANDICAPPED RAMPS & CROSS WALK DETAIL  
(SEE DETAIL "A")



DETECTABLE WARNING SURFACE DETAIL  
NOT TO SCALE

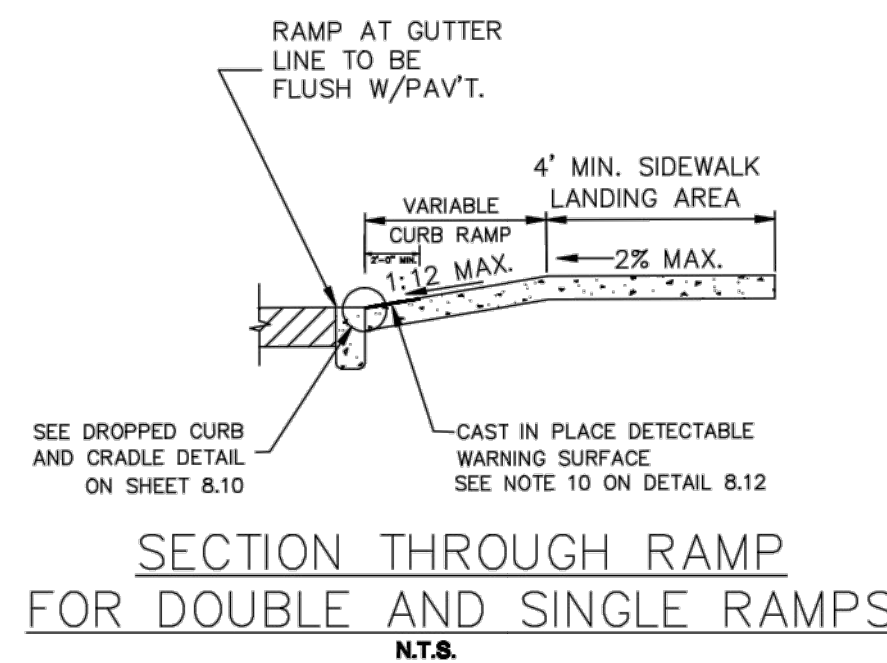
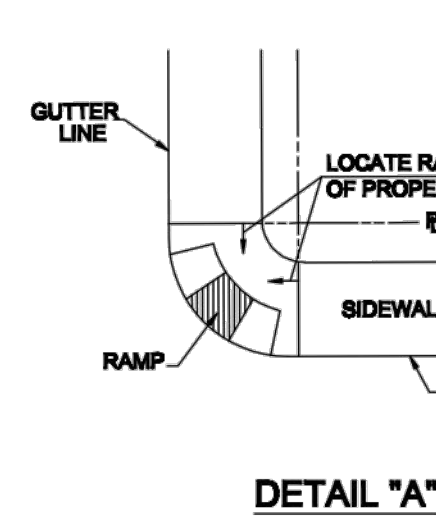


SECTION C-C  
TYPICAL 9"x 20" CONCRETE VERTICAL  
CURB/DRIVEWAY DETAIL  
N.T.S.

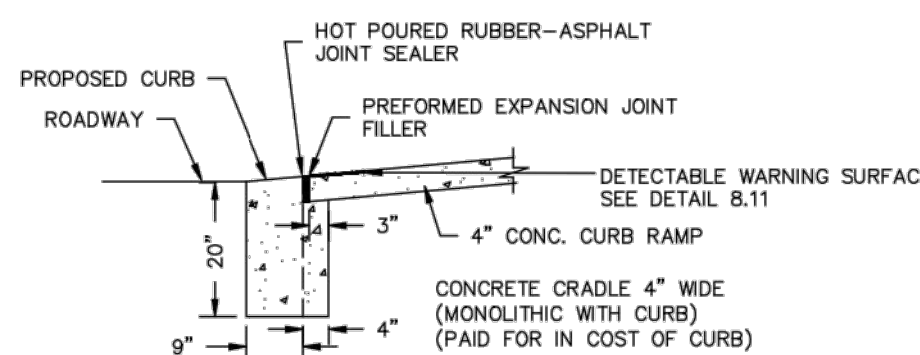


NOTE:  
RAMPS TO BE INSTALLED AND CONSTRUCTED IN ACCORDANCE WITH THE "BARRIER FREE DESIGN REGULATIONS" AS ADOPTED BY THE STATE OF NEW JERSEY AND AS MAY BE AMENDED.

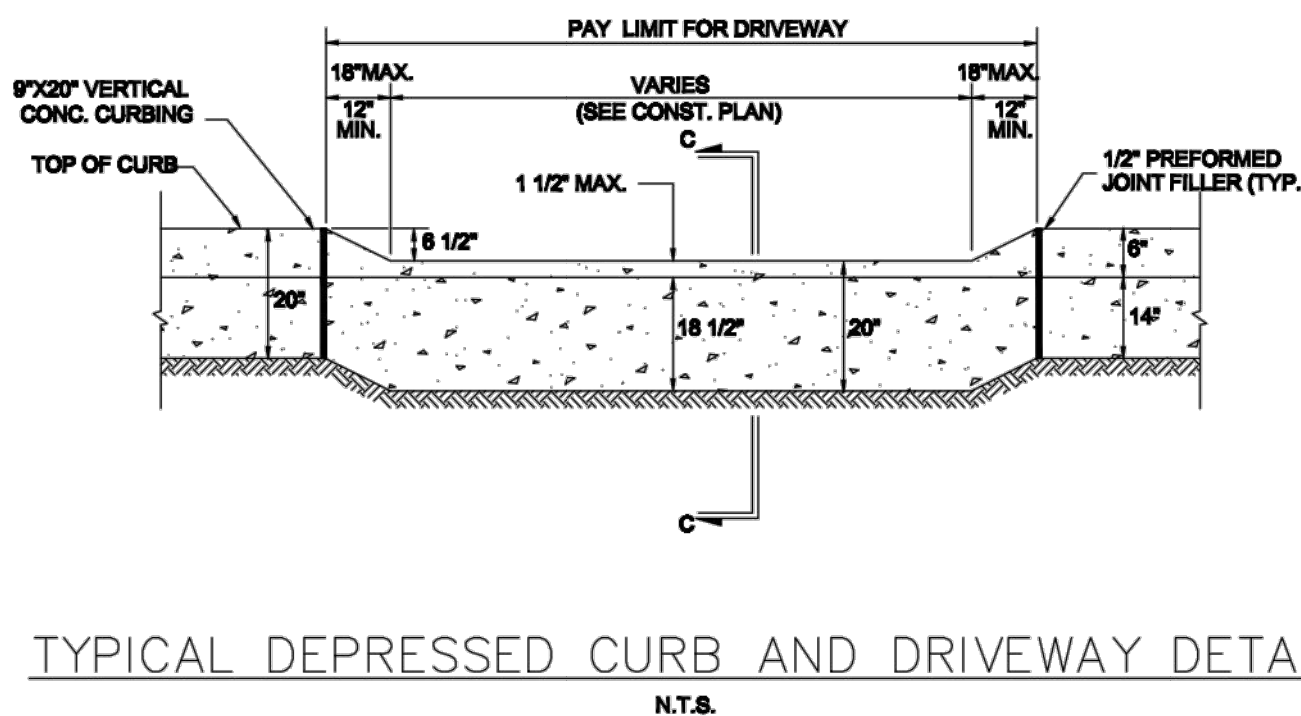
DOUBLE HANDICAPPED RAMPS & CROSS WALK DETAIL  
(SEE DETAIL "B")



DETAIL "B"



DETAIL OF DROPPED CURB & CRADLE  
N.T.S.



TYPICAL DEPRESSED CURB AND DRIVEWAY DETAIL  
N.T.S.

CURB & SIDEWALK NOTES:

- ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS B CONCRETE. (N.J.D.O.T. SPECS)
- A 1/2" PREFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPECS M-33 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX. SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURBING 10" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPECS M-33 PLUSH WITH THE TOP AND FACE OF CURB.
- COST OF EXPANSION JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALK AND CURBING.
- ALL SIDEWALK, CURB RAMPS AND SIDE RAMPS SHALL HAVE A HAND BROOMED FINISH.
- THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE CURB RAMPS.
- COST OF ANY DENSE GRADED AGGREGATE NEEDED FOR CURB AND SIDEWALK CONSTRUCTION WILL BE PAID FOR UNDER THE ITEM D.G.A.
- CONCRETE CURB SHALL NOT BE CONSTRUCTED FROM NOVEMBER 1 TO MARCH 15 UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
- IMMEDIATELY AFTER THE CONCRETE HAS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
- DETECTABLE WARNING SURFACE SHALL BE "ARMOR-TILE" TAC TILE SYSTEMS AS MANUFACTURED BY ENGINEERED PLASTICS INC., WILLIAMSVILLE, NEW YORK, TELEPHONE NO. 1-800-882-2825 OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x48" AND SHALL BE A BRICK RED COLOR. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS, THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO SUBSECTION 807.06 SUBPART 8 DETECTABLE WARNING SURFACES OF THE N.J.DOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
- ALL TRAFFIC STRIPES AND MARKINGS SHALL BE LONG-LIFE, THERMOPLASTIC IN ACCORDANCE WITH SECTION 618 - TRAFFIC STRIPES AND MARKINGS OF THE N.J.DOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.

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NY License # 32710-1

-	07/06/17	ZONING SET VNA
-	07/04/17	ZONING SET
-	03/22/17	CLIENT REVIEW

#	Date	Revision
---	------	----------

Project Number : 17-1351

Drawn by : MS

Checked by : FJM, ACV

Scale: : As noted

Client

RAYMOND ESHAGHOFF  
BSG MANAGEMENT COMPANY

Address

285 NEWARK AVENUE  
BLOCK 11004, LOT 6  
JERSEY CITY, NJ 07302

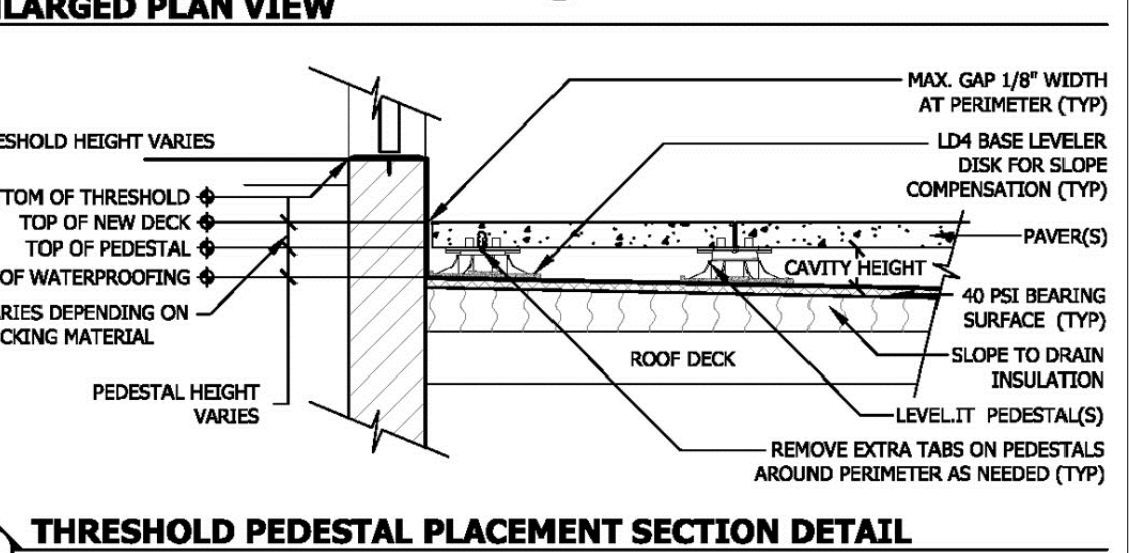
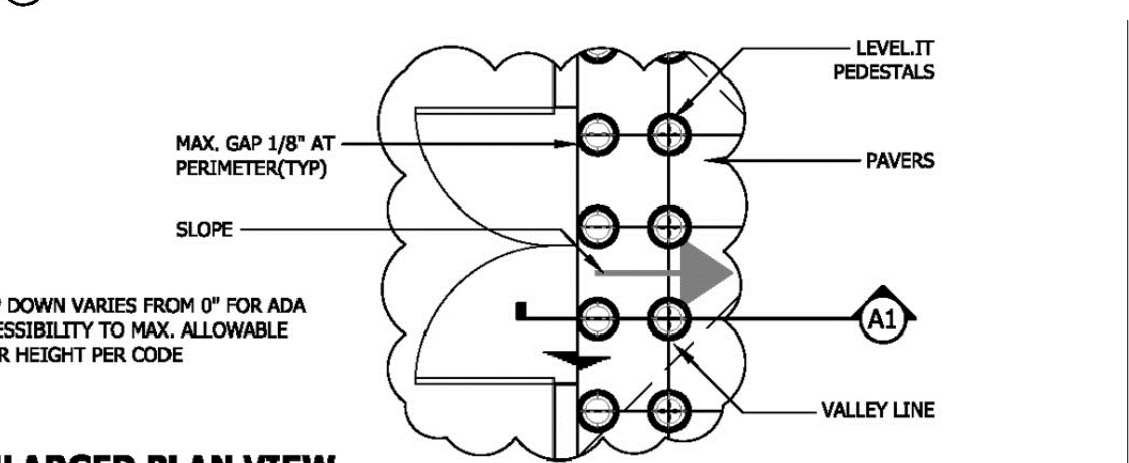
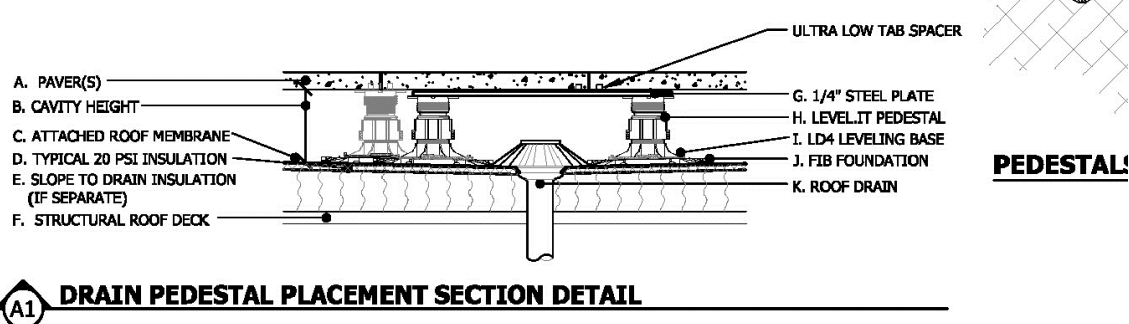
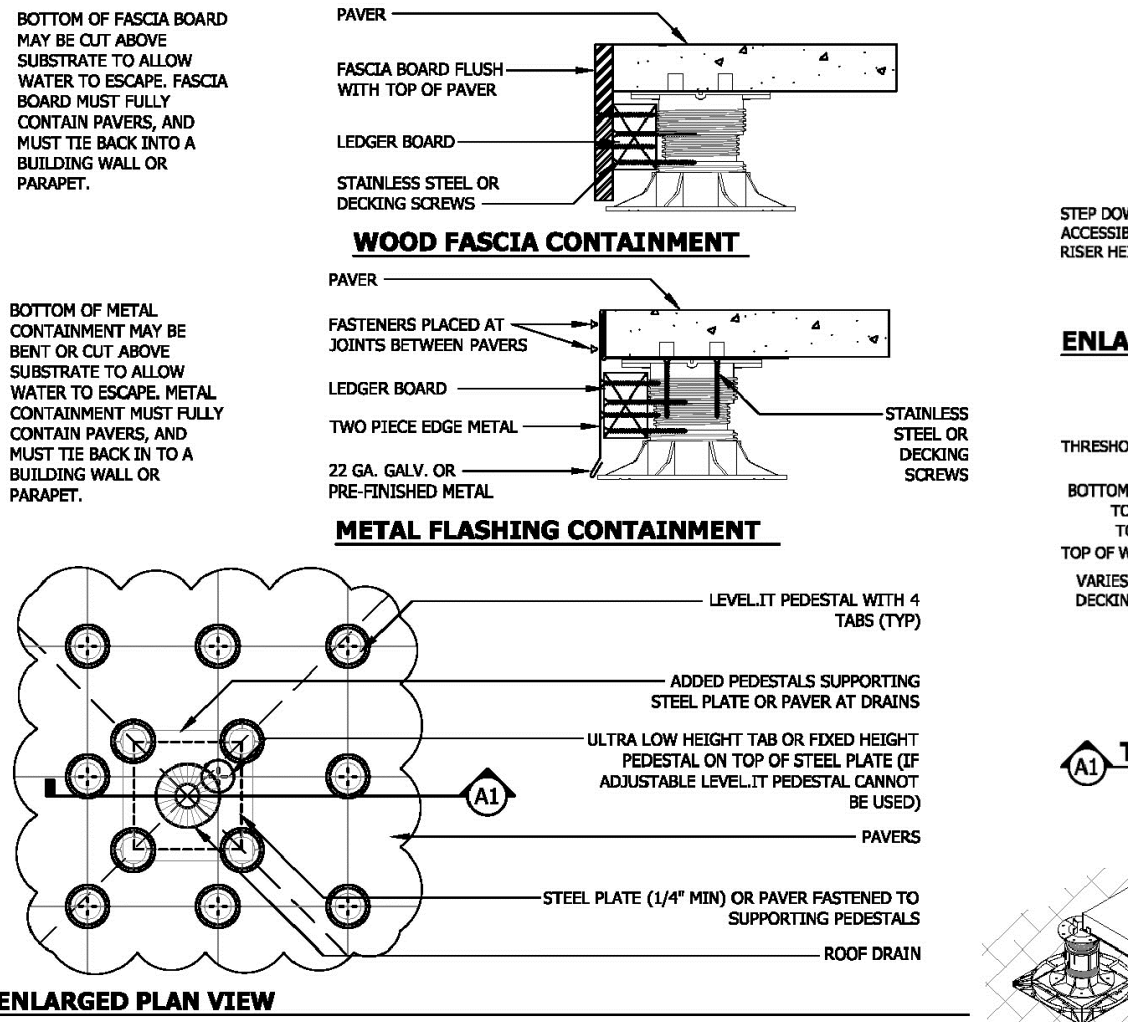
Project Description

NEW 6 STORY, MIXED-USE  
BUILDING WITH A GROUND  
FLOOR COMMERCIAL, AND  
22 RESIDENTIAL UNITS

Sheet Title

CURB AND SIDEWALK  
DETAILS



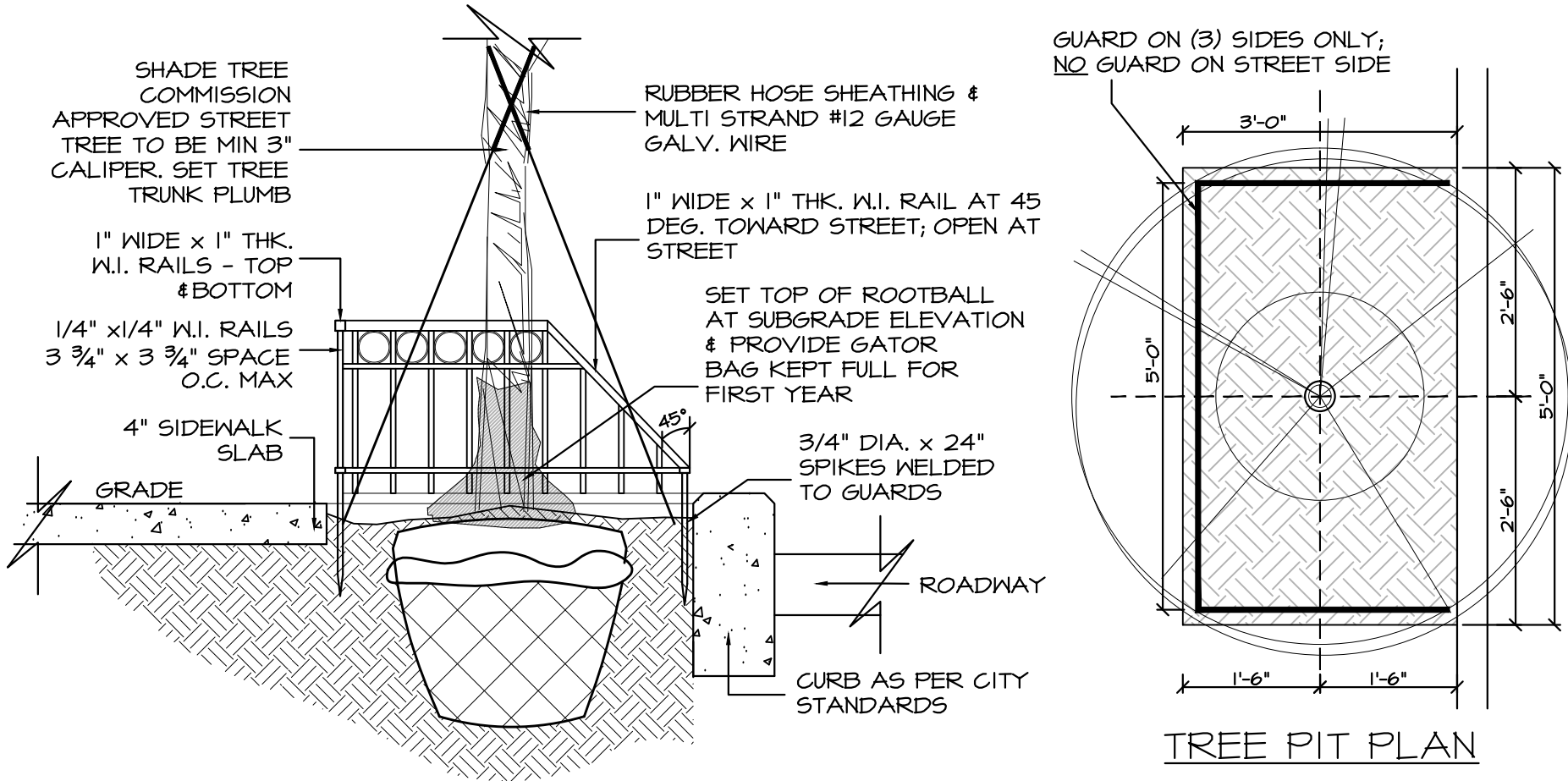


**Bison Innovative Products**  
1975 West 13th Avenue  
Denver, CO 80204 USA  
BisonIF.com  
info@BisonIF.com

Phone 303.892.0400  
Toll Free 800.333.4234  
Fax 303.825.5988

## "BISON" PEDESTAL ROOF DECK PAVER DETAILS

SCALE VARIES



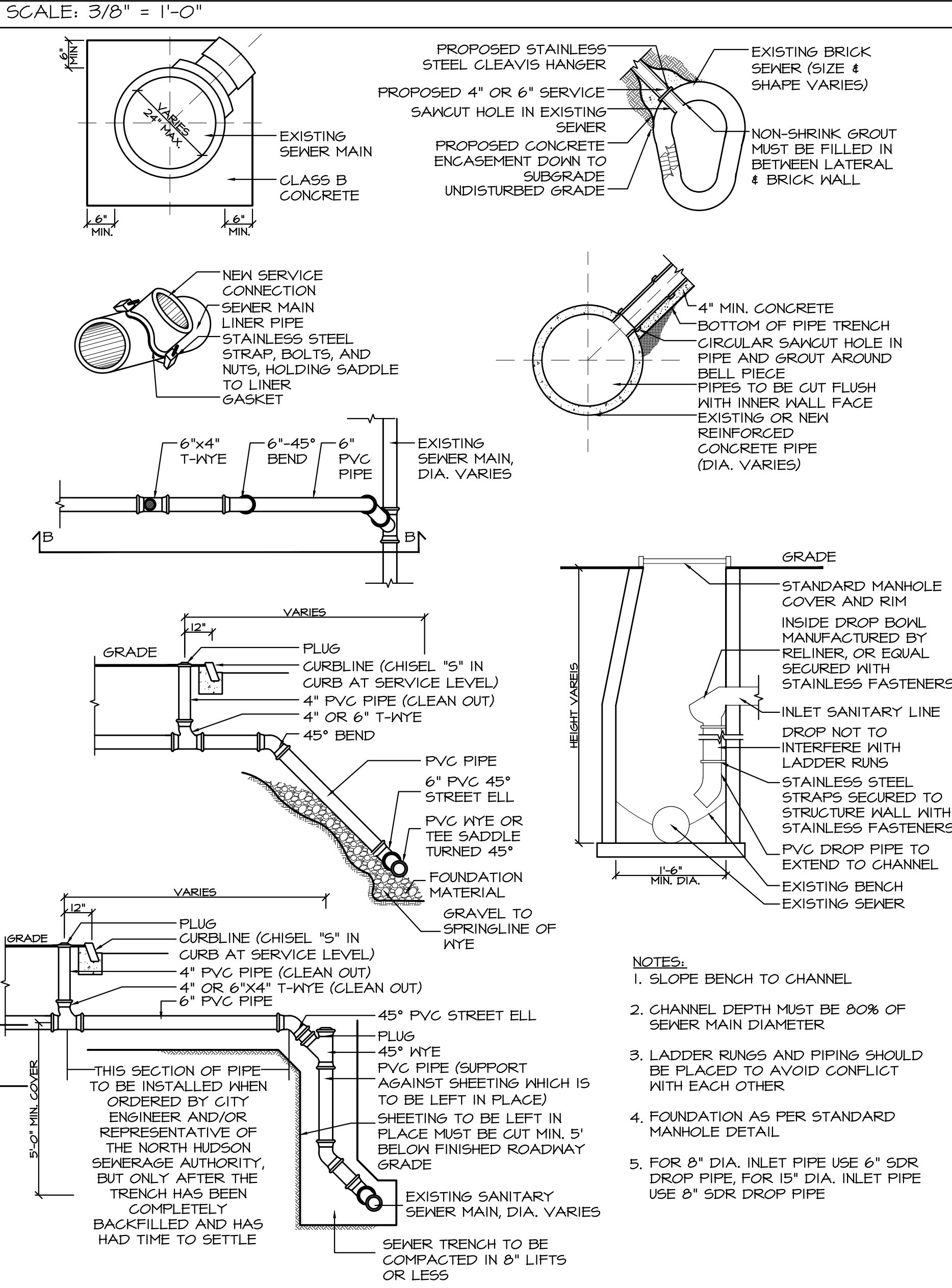
## STREET TREE PLANTING & GUARD DETAIL

SCALE VARIES



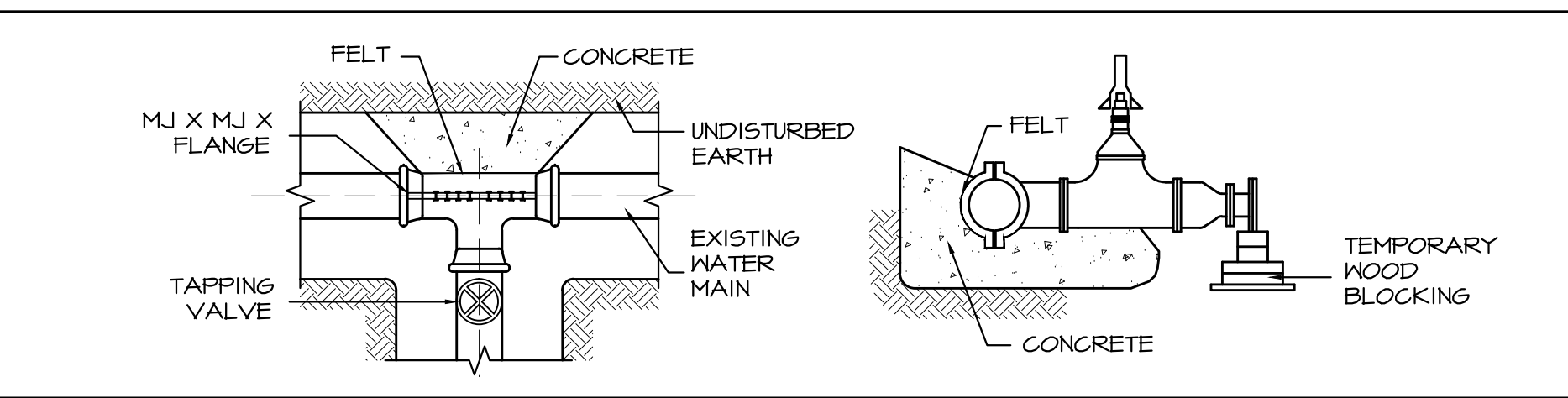
## ROOF DECK PLANTER DETAILS

SCALE: 3/8" = 1'-0"



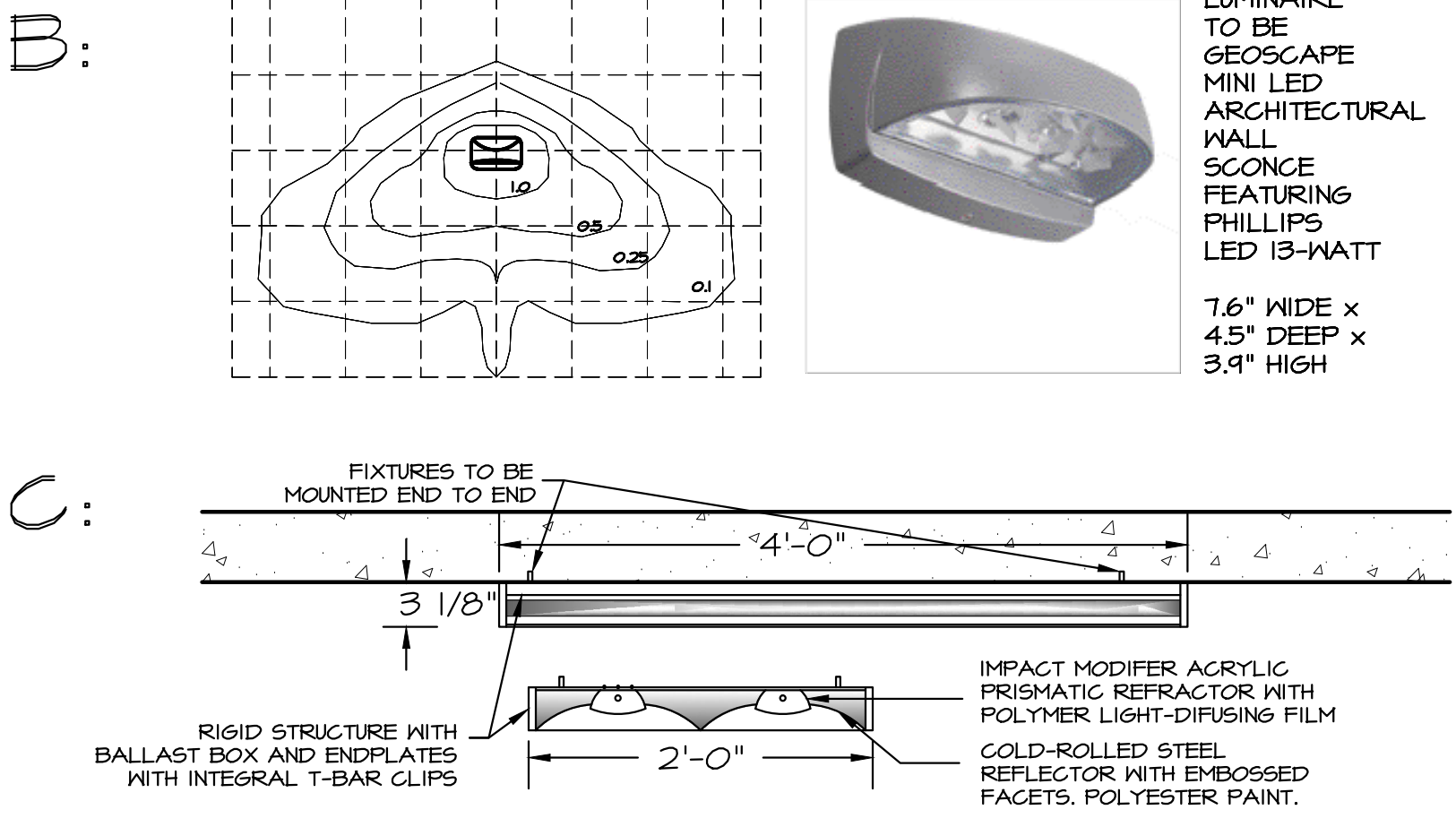
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SCALE VARIES



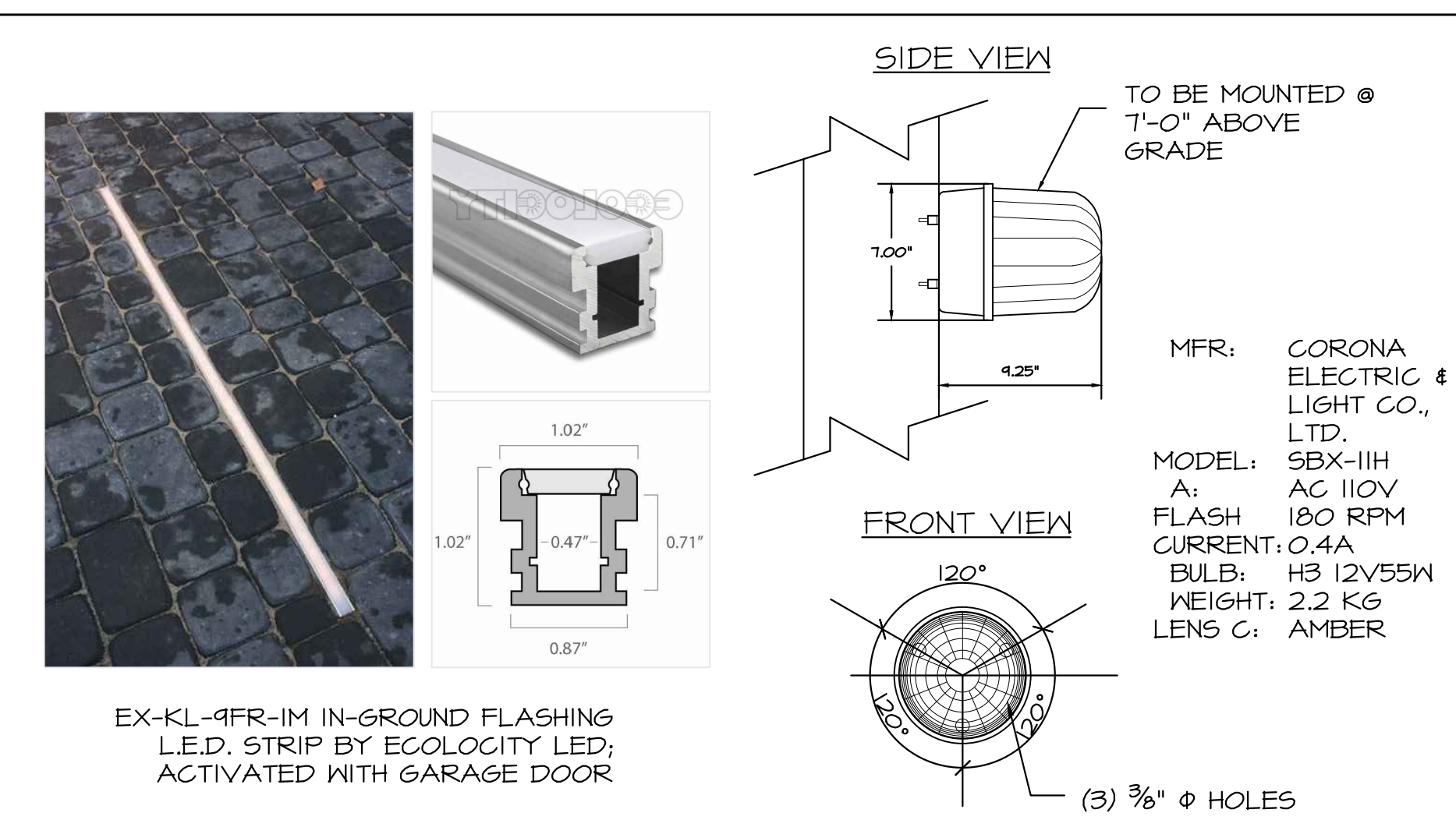
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NOT TO SCALE



## LIGHTING FIXTURE DETAILS

SCALE VARIES



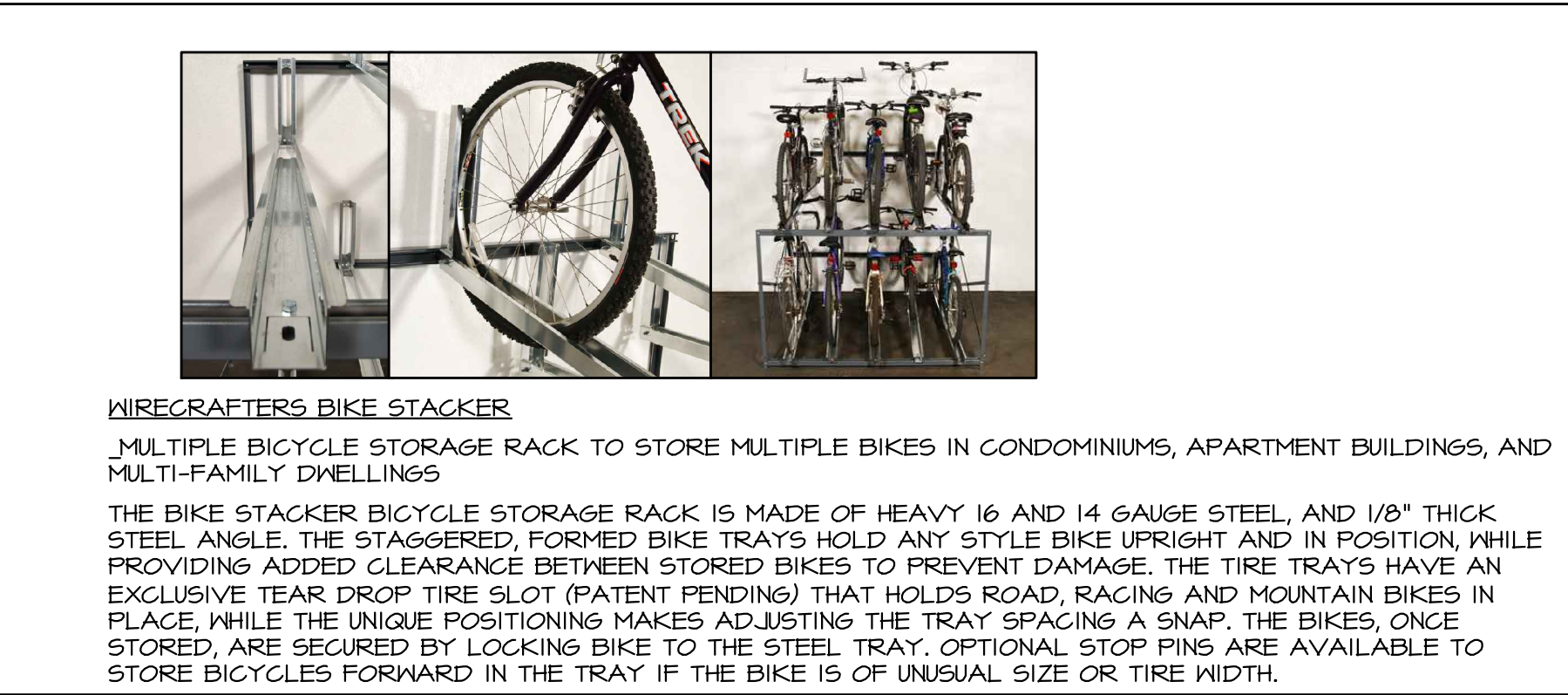
## PEDESTRIAN WARNING DEVICE DETAILS

SCALE VARIES



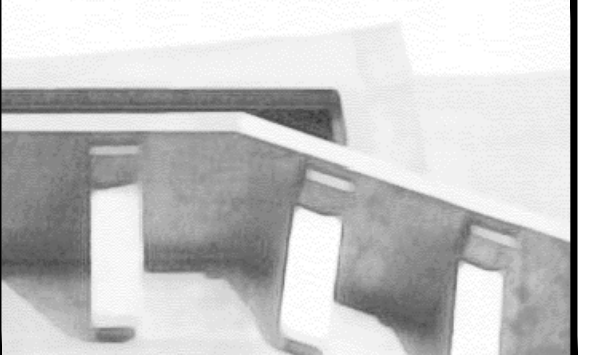
## EXTERIOR BIKE RACK

SCALE VARIES



## BICYCLE STORAGE RACK DETAILS

NOT TO SCALE



## Minervini Vandermark Architecture

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-	07/04/17	ZONING SET
-	03/22/17	CLIENT REVIEW
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Project Number : 17-1351  
Drawn by : MS  
Checked by : FJM, ACV  
Scale: : As noted

Client  
RAYMOND ESHAGHOFF  
BSG MANAGEMENT COMPANY

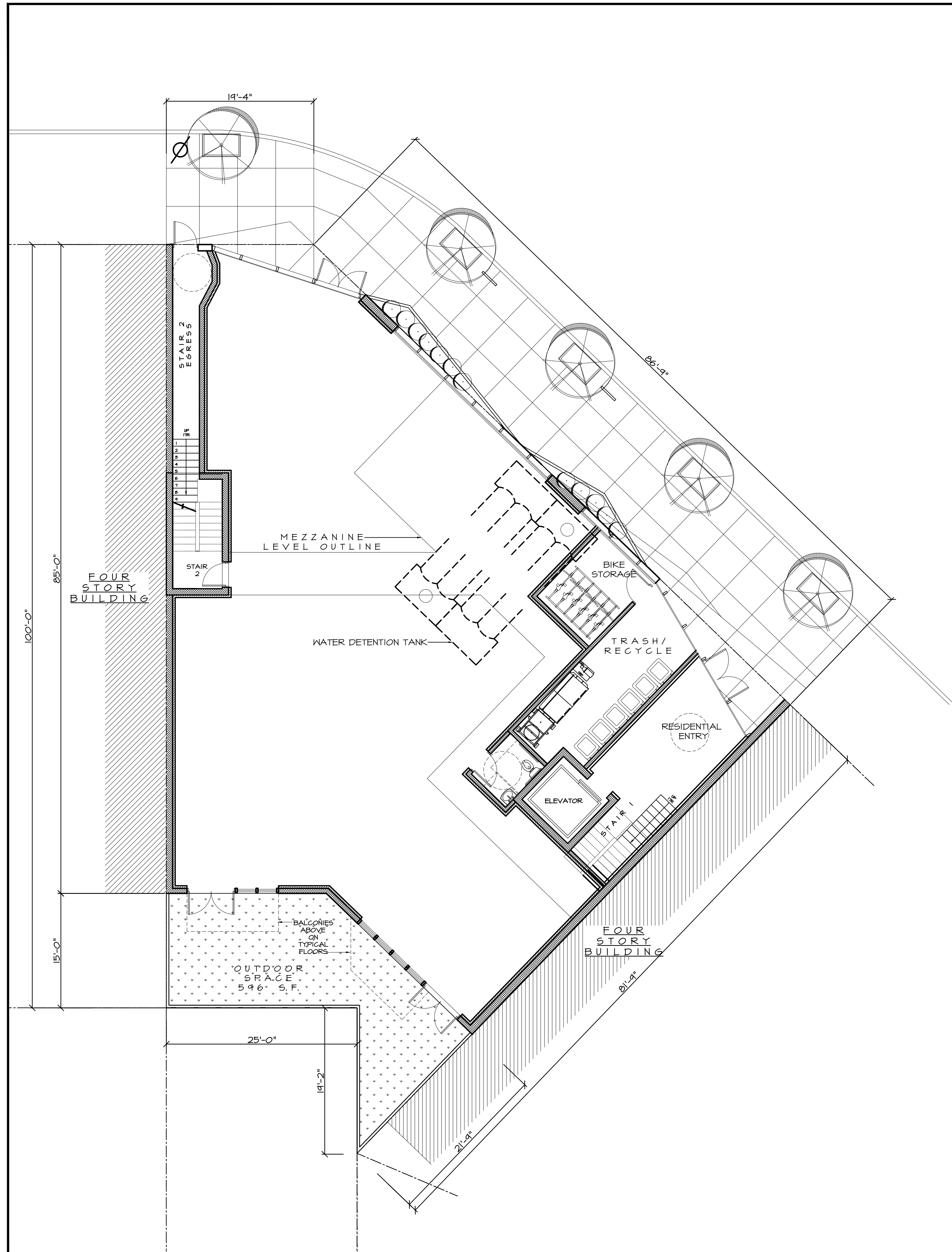
Address  
285 NEWARK AVENUE  
BLOCK 11004, LOT 6  
JERSEY CITY, NJ 07302

Project Description  
NEW 6 STORY, MIXED-USE BUILDING WITH A GROUND FLOOR COMMERCIAL UNIT, AND 22 RESIDENTIAL UNITS

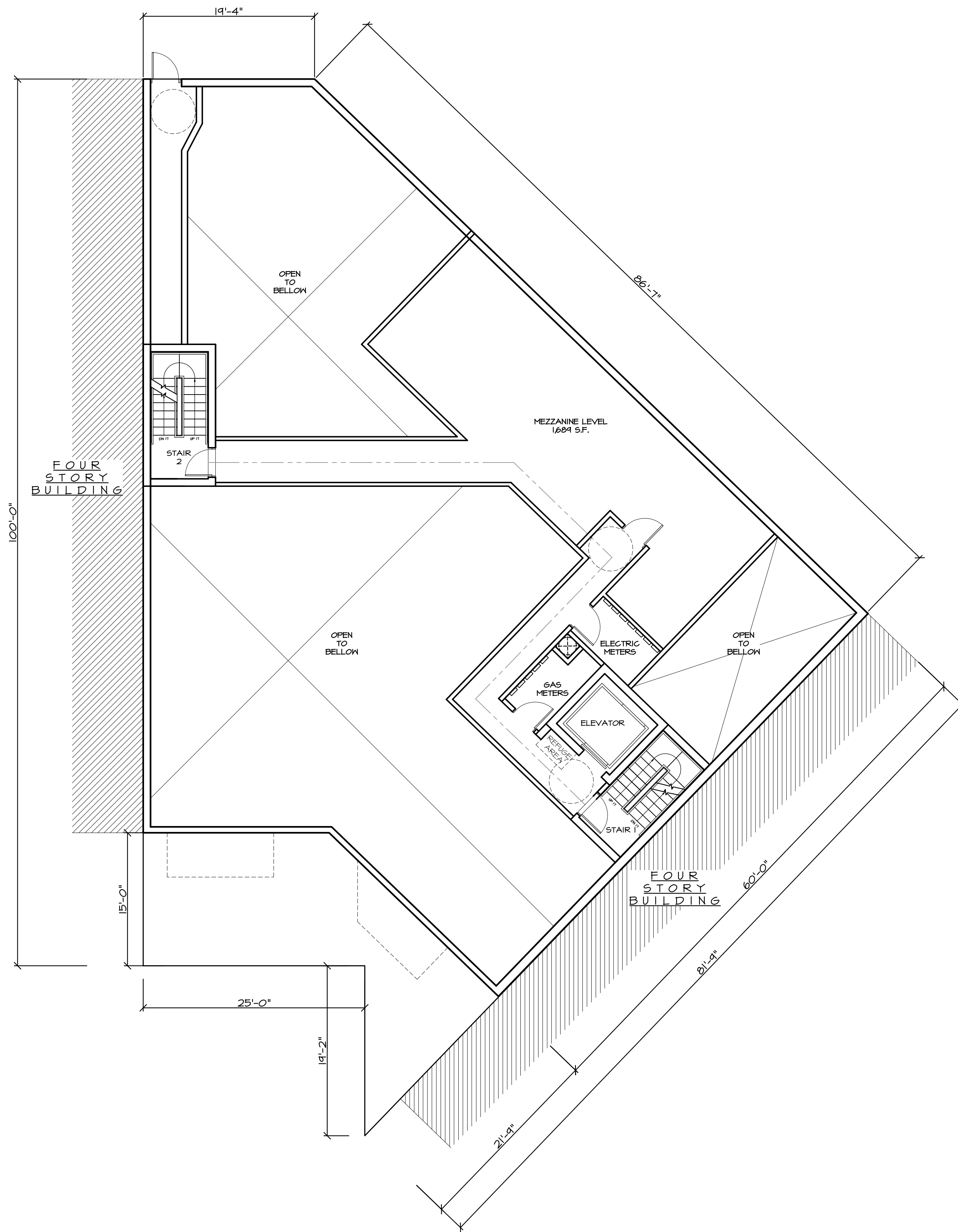
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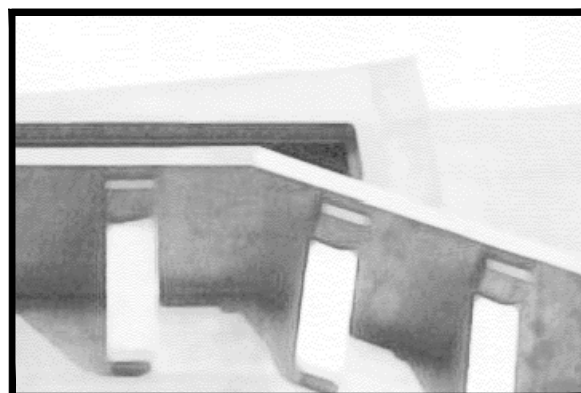
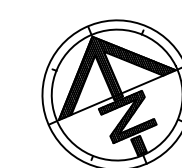




1 PROPOSED 1ST FLOOR PLAN  
SCALE 1/8" = 1'-0"



2 PROPOSED MEZZANINE LEVEL  
SCALE 1/8" = 1'-0"



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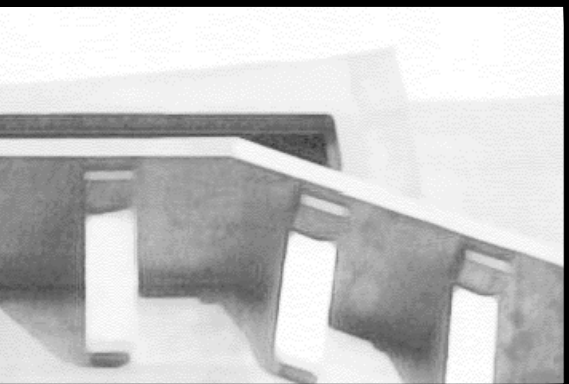
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PROPOSED FLOOR PLANS:  
1ST FLOOR  
MEZZANINE LEVEL

Drawing No.

Z-7





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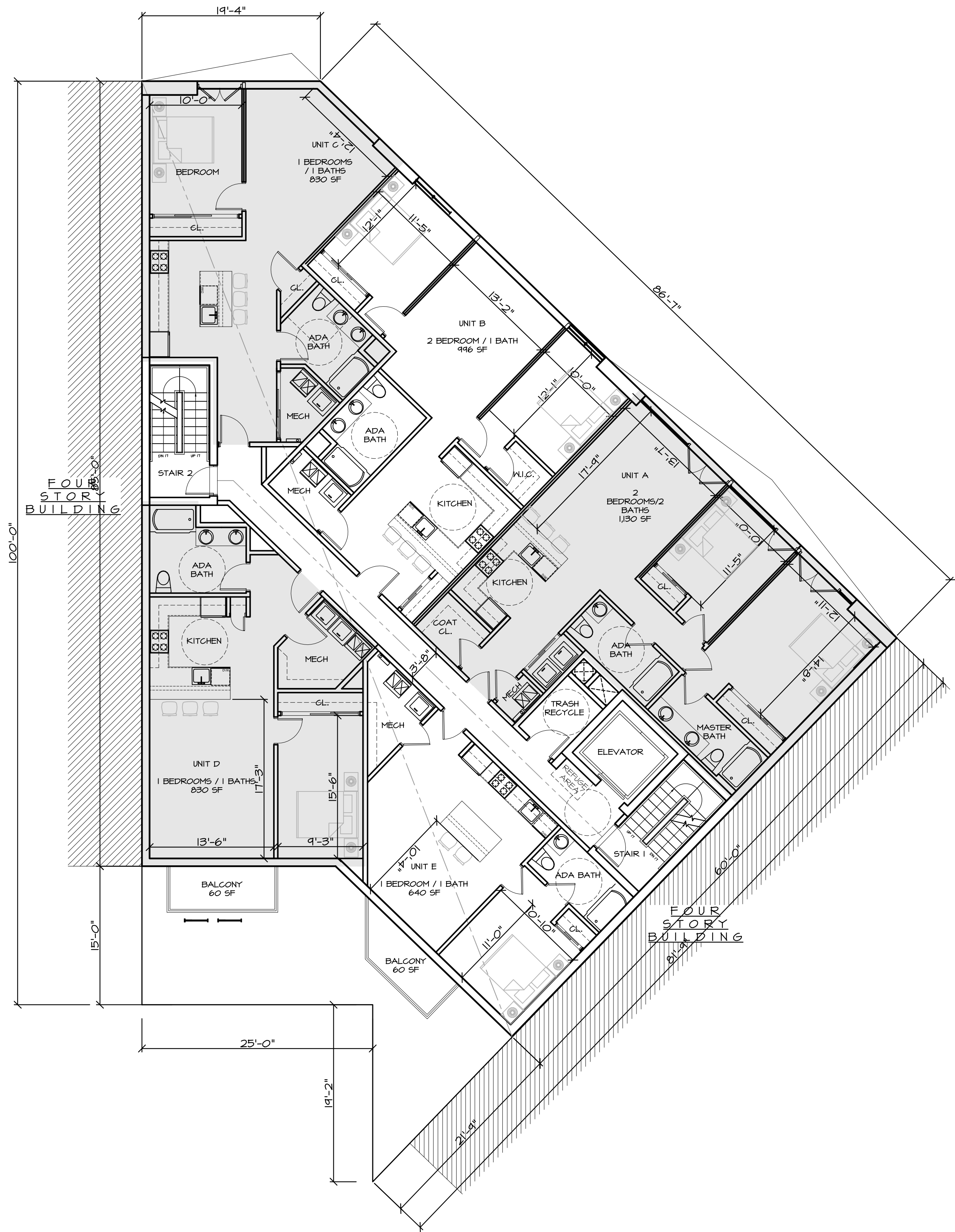
Address  
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NEW 6 STORY, MIXED-USE  
BUILDING WITH A GROUND  
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Sheet Title  
PROPOSED 2ND-5TH  
FLOOR PLAN  
  
PROPOSED 6TH FLOOR  
PLAN

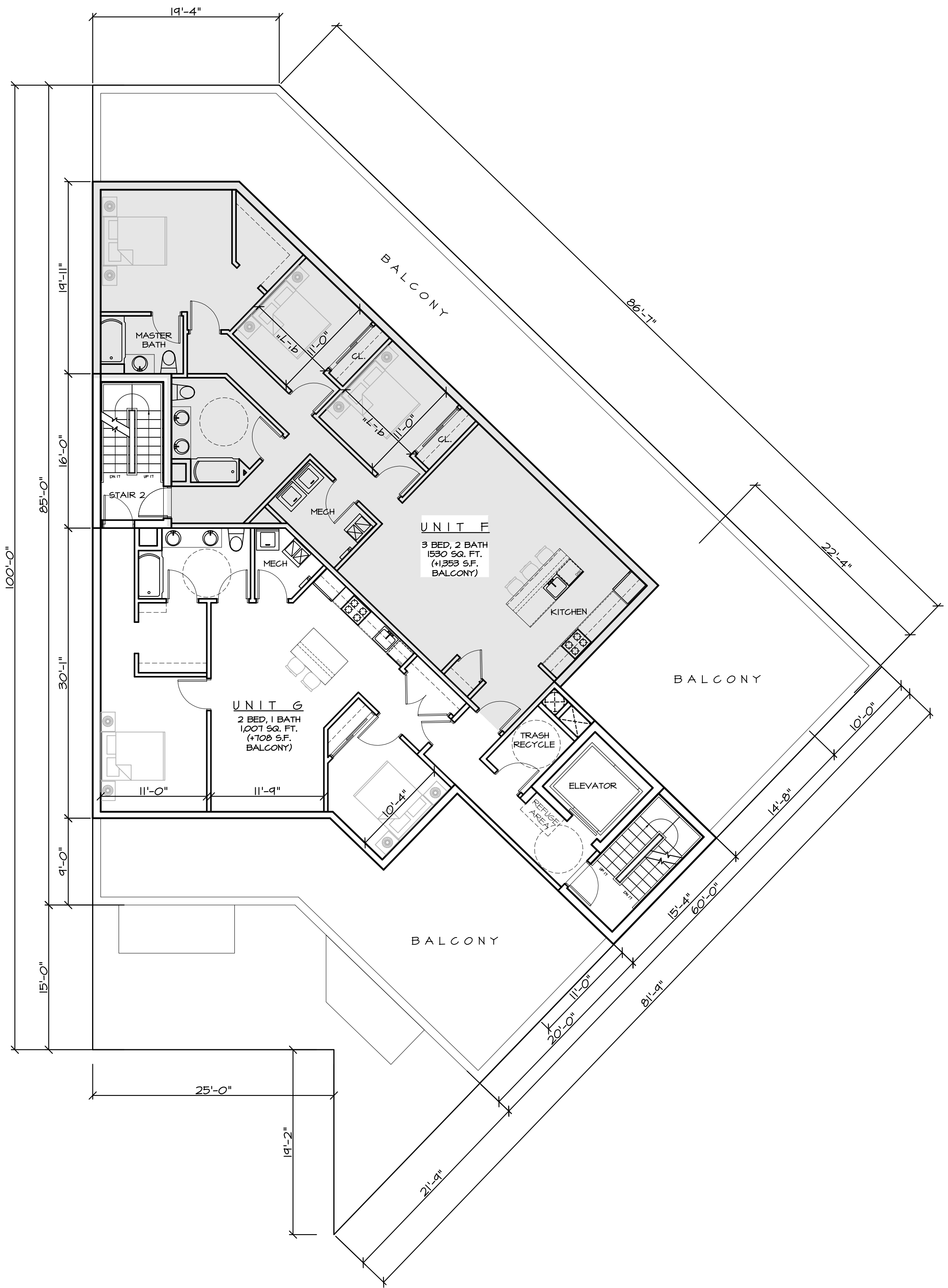
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Z-8



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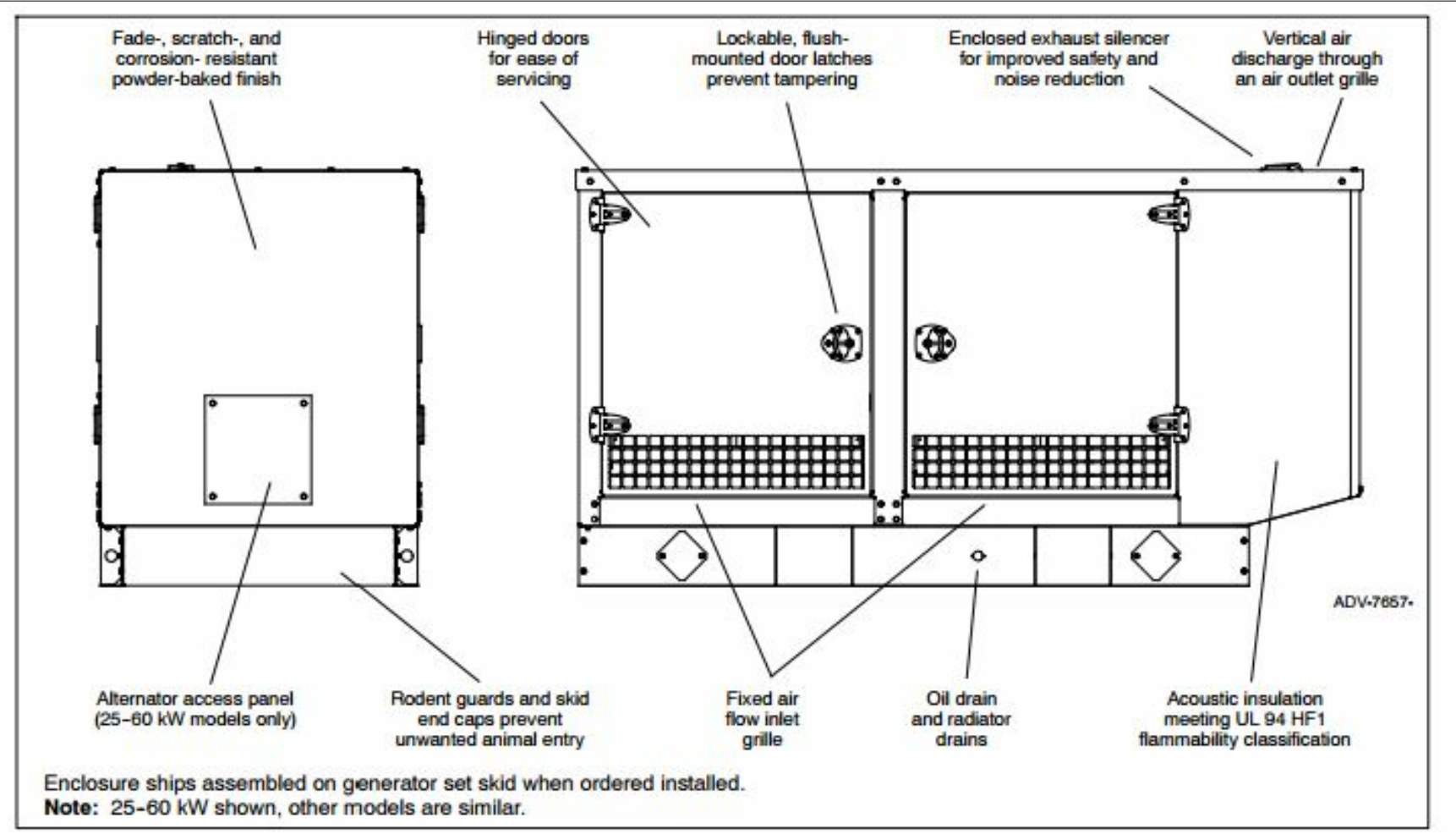
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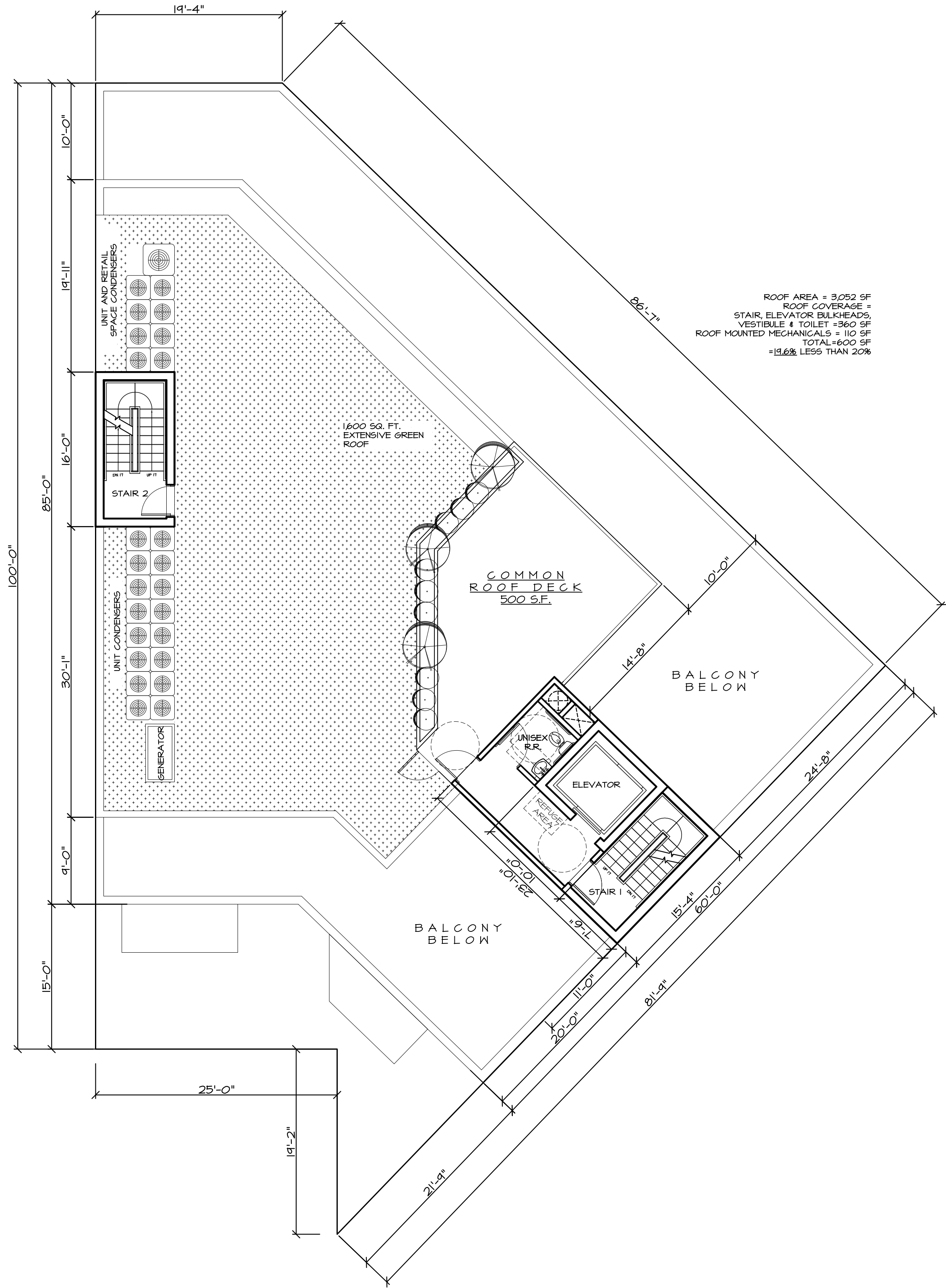
2 PROPOSED 6TH FLOOR PLAN

SCALE 1/8" = 1'-0"

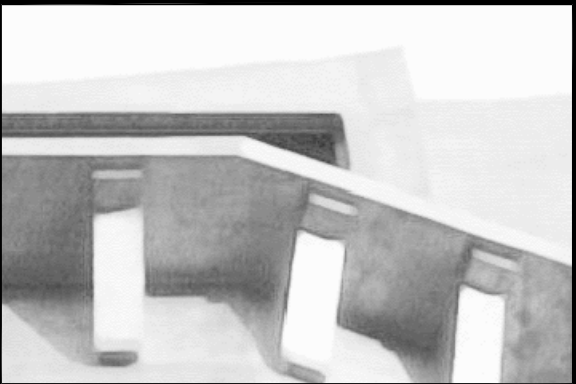




GENERATOR SOUND ENCLOSURE DETAIL  
NOT TO SCALE



1 PROPOSED ROOF FLOOR PLAN  
SCALE 3/16" = 1'-0"



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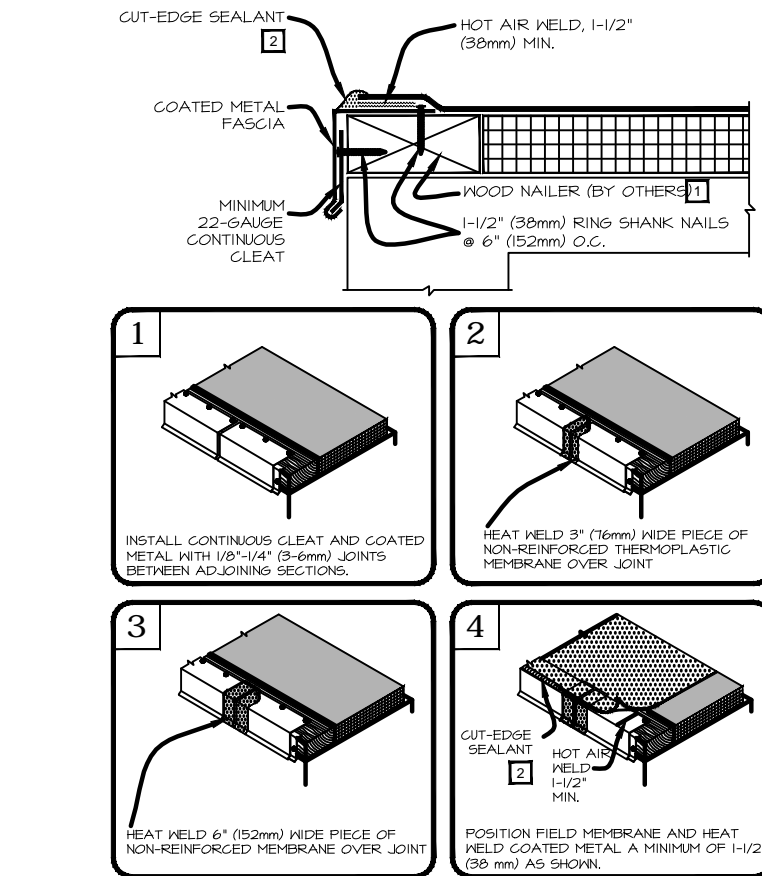
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NEW 6 STORY, MIXED-USE  
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Sheet Title  
PROPOSED 6TH FLOOR  
PLAN

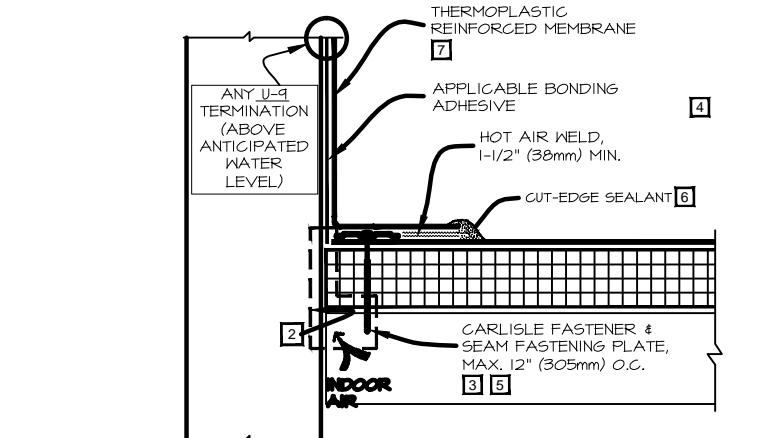
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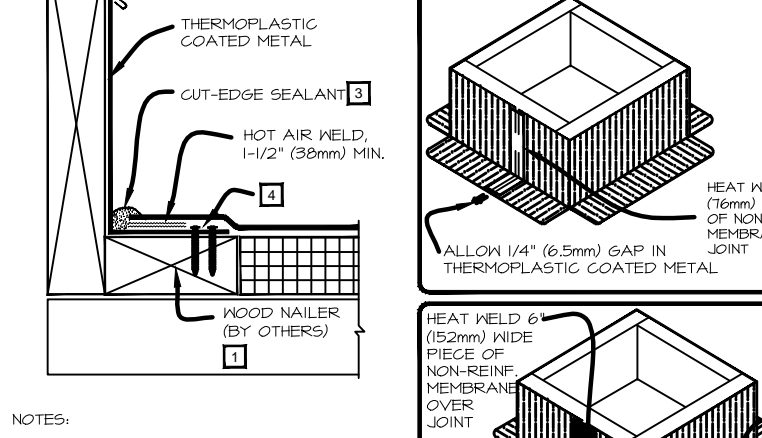




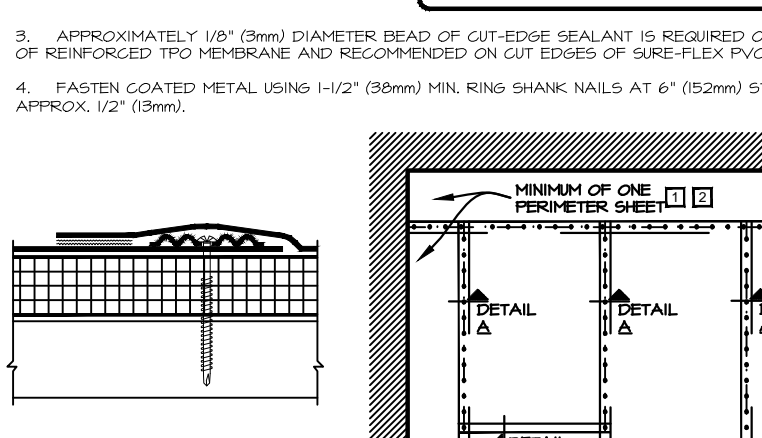
- NOTES:
1. WOOD NAILED MUST EXTEND PAST TOTAL WIDTH OF METAL FASCIA DECK FLANGE.
  2. APPROXIMATELY 1/8" (3mm) DIAMETER BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF REINFORCED TPO MEMBRANE AND RECOMMENDED ON CUT EDGES OF SURE-FLEX PVC MEMBRANE.



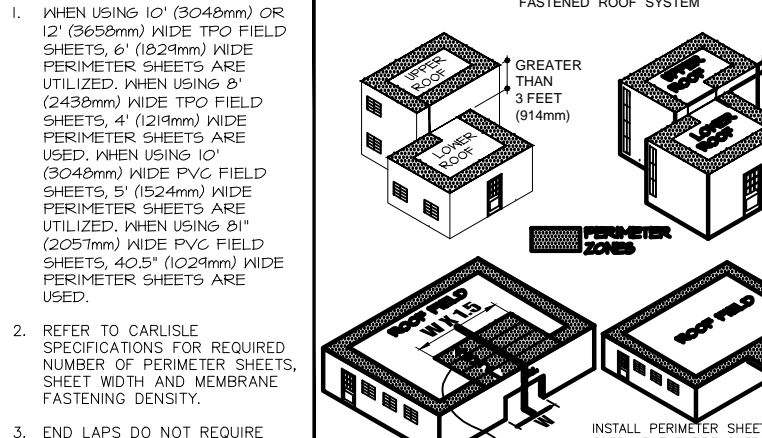
- NOTES:
1. WOOD NAILED MUST EXTEND PAST TOTAL WIDTH OF COATED METAL DECK FLANGE.
  2. WHEN MECHANICAL FASTENERS ARE USED TO PENETRATE THE METAL, CENTER FLASHING, USE EPDM HASHERS, APPLY WATER CUT-OFF MASTIC UNDER CENTER FLASHING OR CALK THE FASTENER HEAD.



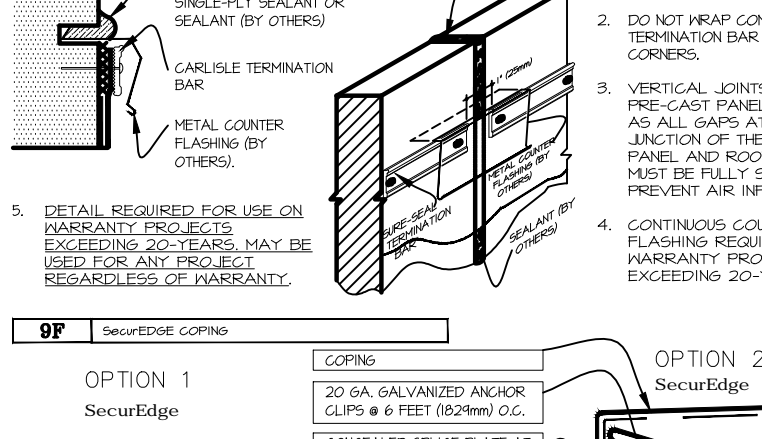
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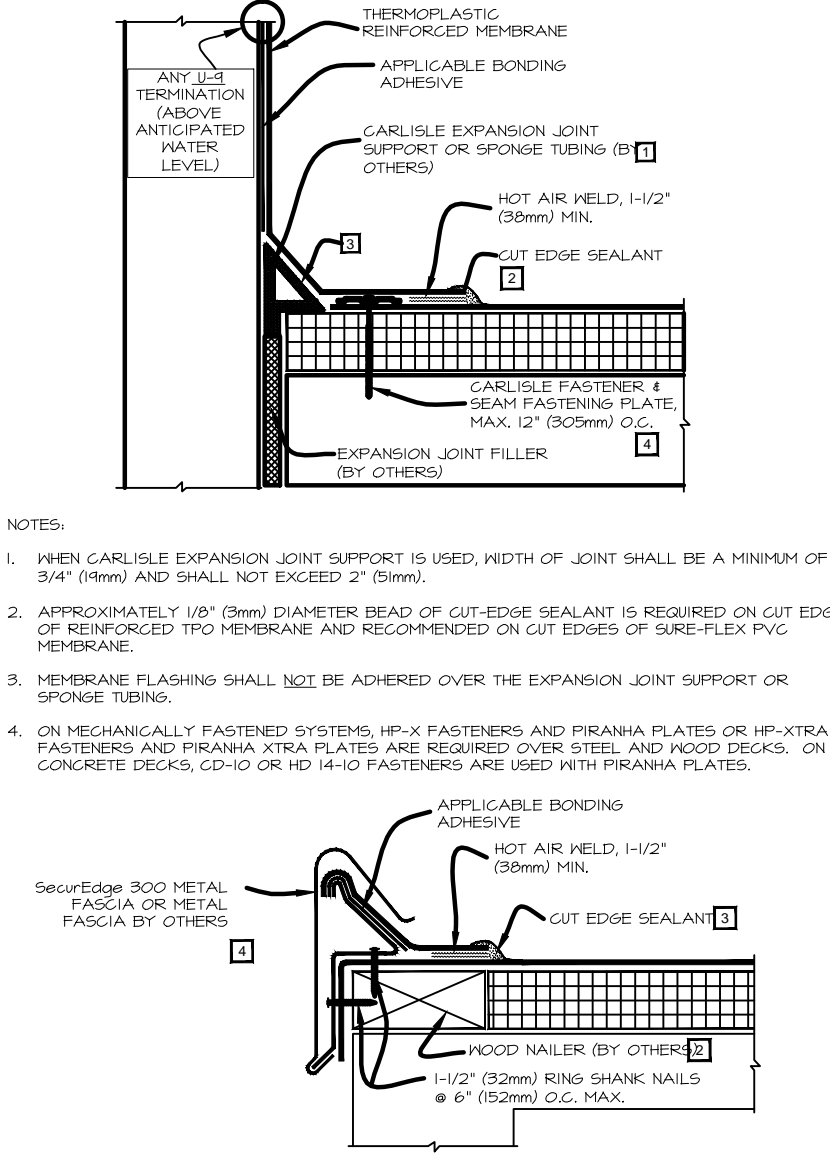


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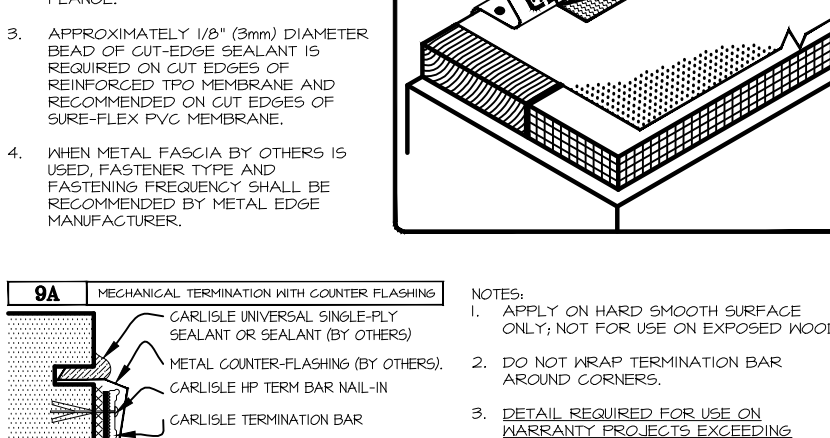


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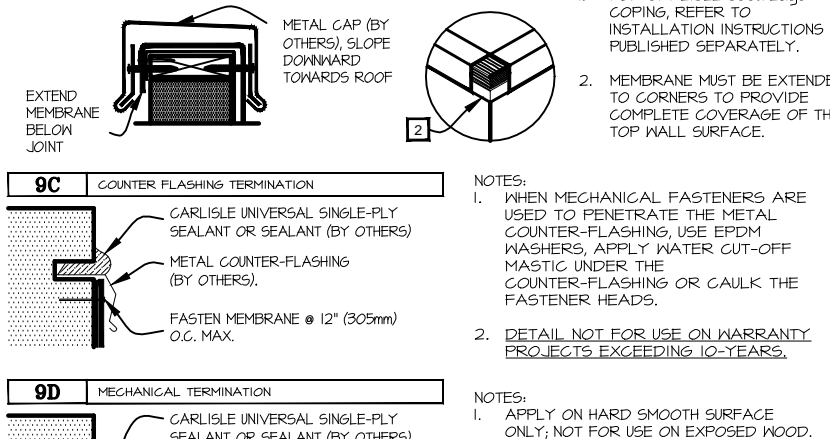
PVC ROOFING DETAILS  
SCALE VARIES



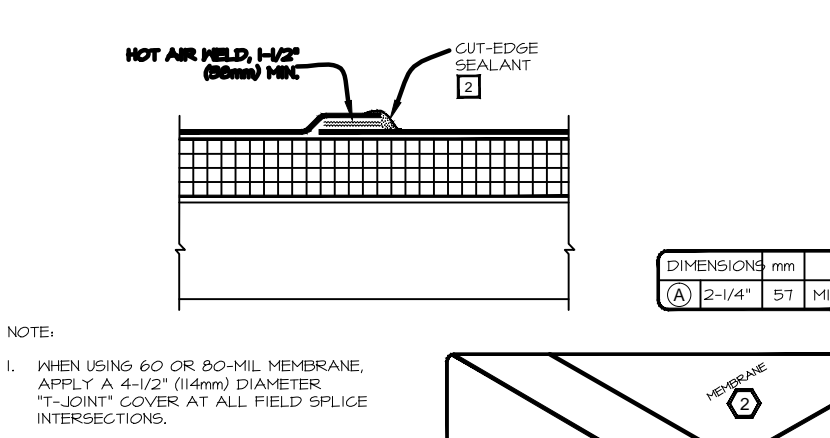
- NOTES:
1. WHEN CARLISLE EXPANSION JOINT SUPPORT IS USED, WIDTH OF JOINT SHALL BE A MINIMUM OF 3/4" (19mm) AND SHALL NOT EXCEED 2" (51mm).
  2. APPROXIMATELY 1/8" (3mm) DIAMETER BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF REINFORCED TPO MEMBRANE AND RECOMMENDED ON CUT EDGES OF SURE-FLEX PVC MEMBRANE.



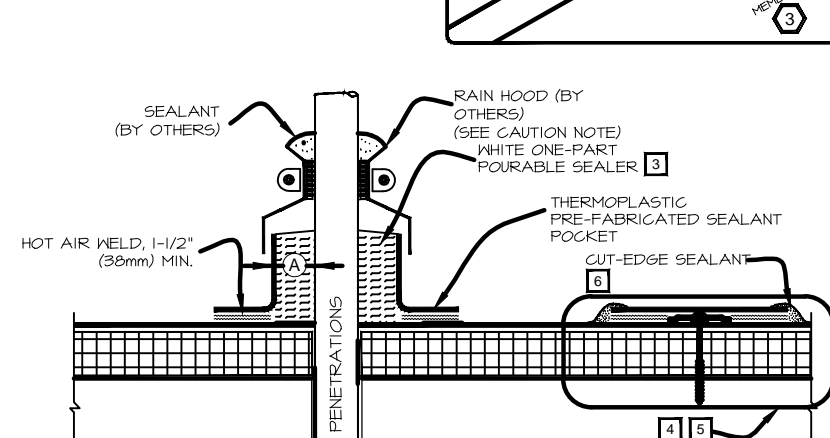
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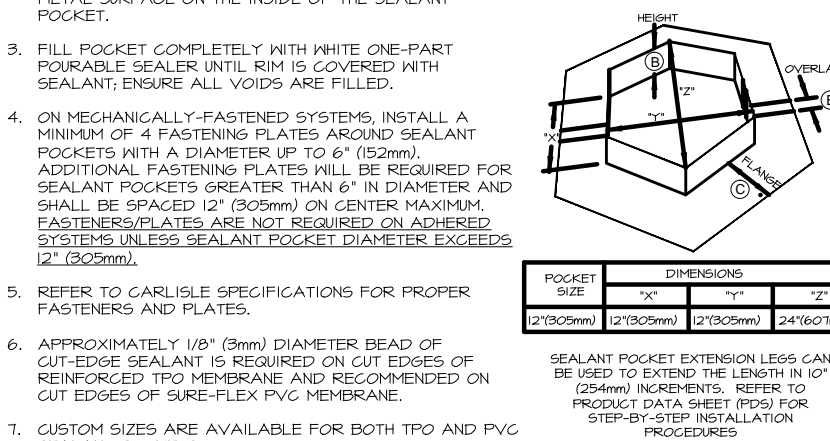
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**Thymus praecox 'Purple Carpet'**

Statistics

Common Name: Creeping Thyme

USDA Zone Range: 2-9

Bloom Time: Early Summer

Height: 0

Flower Color: Purple

Width: 18

Light: Full or Part Sun

Minimum Depth: 2.5

Order Code: D

Description

There are a great many selections of Thyme grown in gardens, all of them with some degree of spicy fragrance. Purple Carpet is a growing variety that features tiny dark green leaves, smothered by bright mauve-purple flowers in early summer. A strong grower, ideal as a drought-tolerant lawn substitute or for planting between flagstones, tolerating moderate foot traffic. Creeping Thyme is easily divided in spring or early fall, and even small pieces will take root and grow. Attractive to butterflies. Evergreen. Rec'd planting density 3 plants/sq. ft.

**Sedum hispanicum 'Purple Form'**

Statistics

Common Name: Blue Carpet Stonecrop

USDA Zone Range: 3-8

Bloom Time: Late Summer

Height: 3

Flower Color: Pink

Width: 12

Light: Full or Part Sun

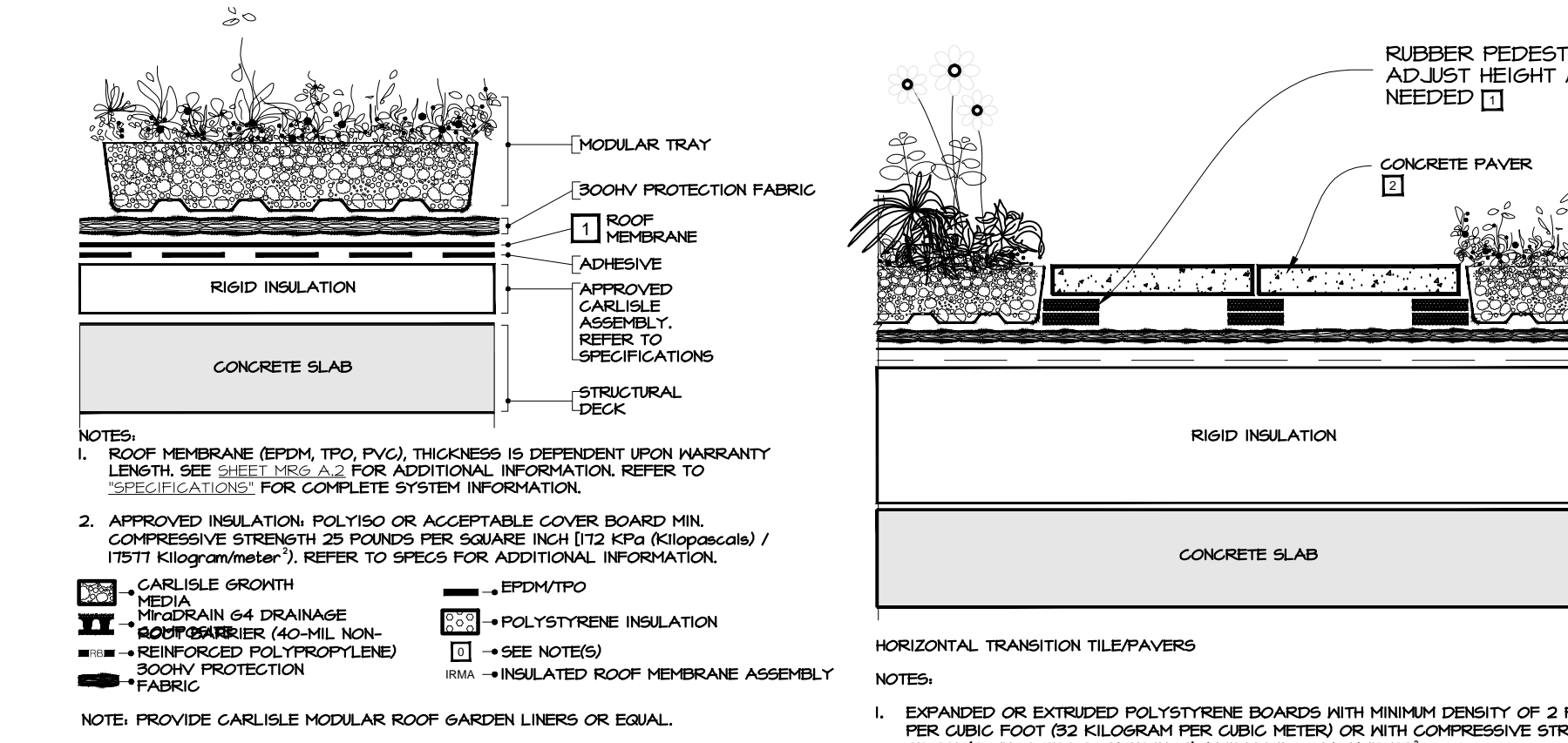
Minimum Depth: 2.5

Order Code: A or B

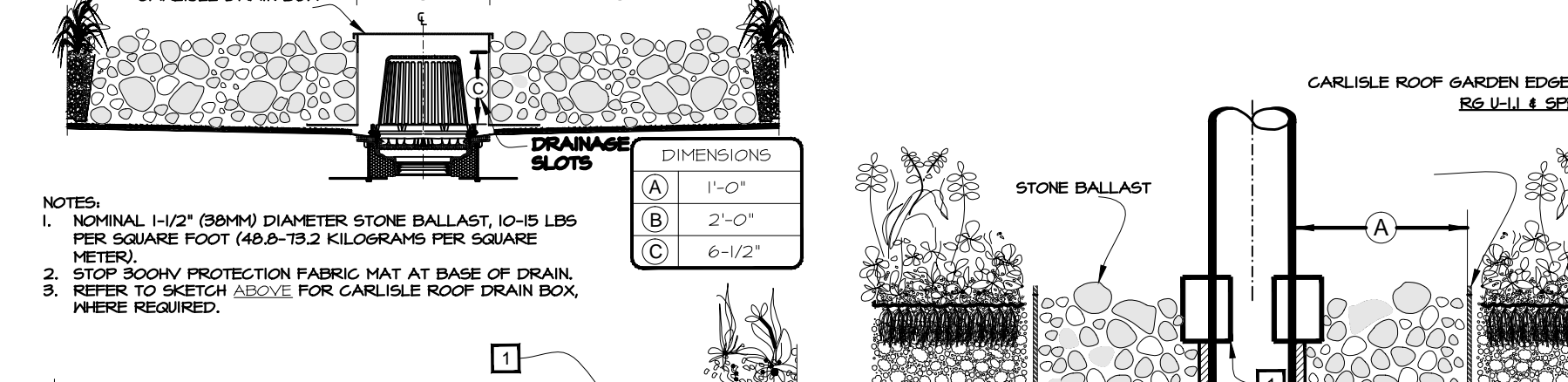
Plants Per Flat: 24

Description

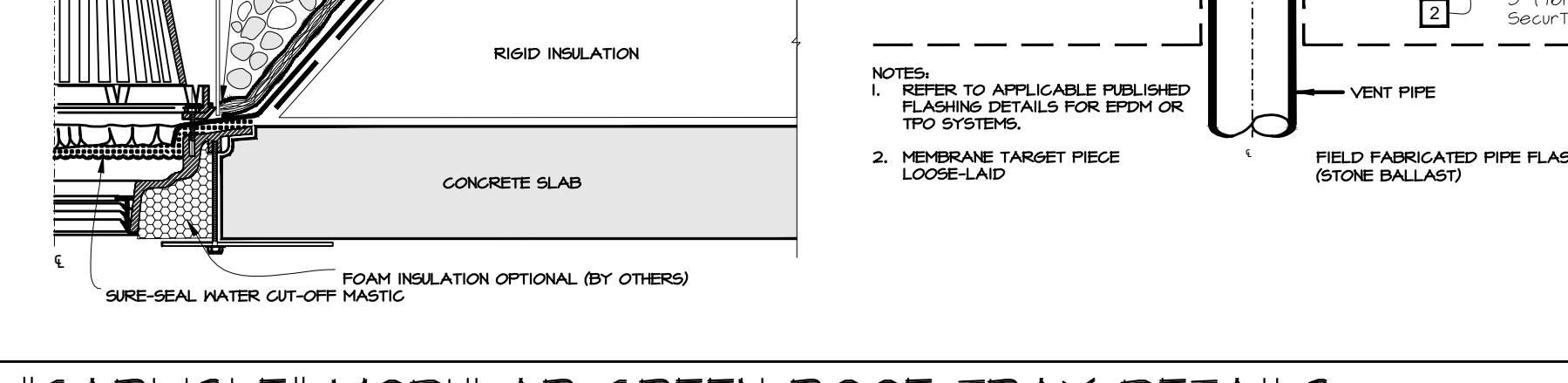
Blue-gray foliage in summer then changing to deep blue and lovely hues of purple in colder weather. In late summer, foliage is completely covered with small pink star-shaped flowers. Extremely heat drought tolerant. A good plant for walkways, rock gardens and container plantings. Will flow between other plantings and rocks for a stunning effect. Rec'd planting density 2 plants/sq. ft. or 9 lbs cuttings/100 sq. ft.



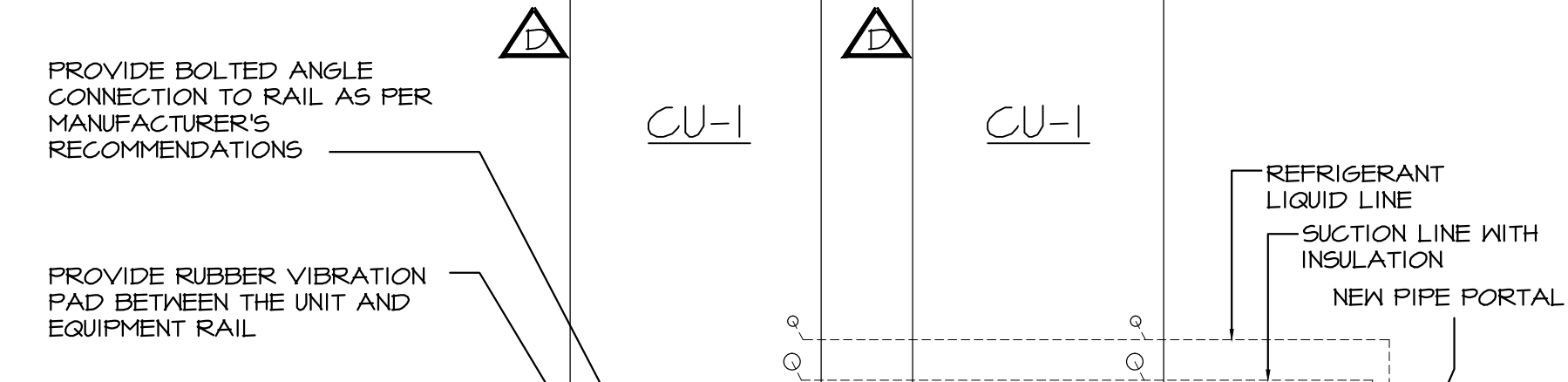
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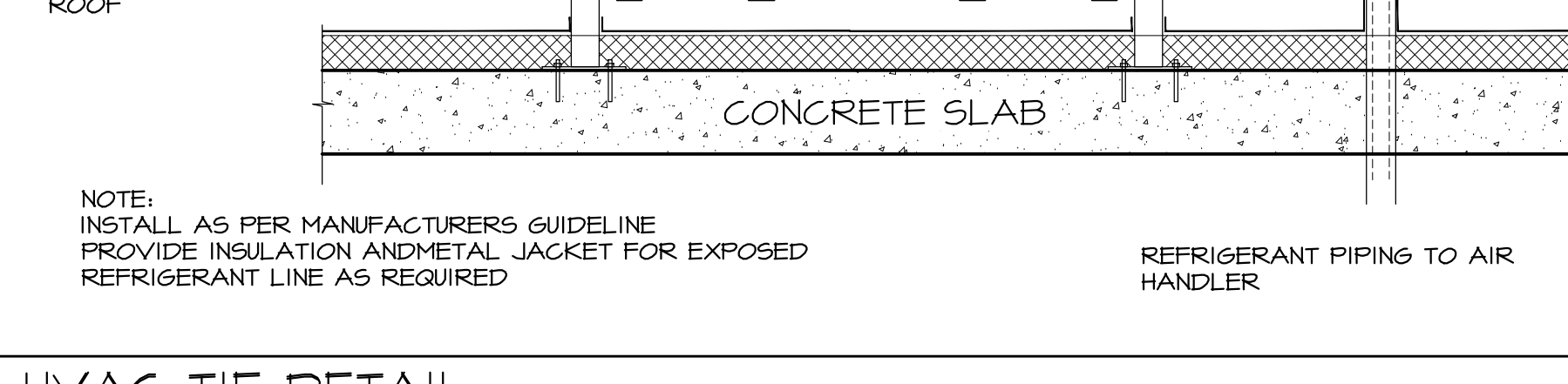
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HYAC TIE DETAIL  
SCALE: 1/2" = 1'-0"

## GREEN ROOF PLANT ESTABLISHMENT PERIOD

THE ESTABLISHMENT PERIOD FOR GREEN ROOF IS THE FIRST FULL GROWING SEASON FOLLOWING PLANTING. CAREFUL WATERING AND ATTENTION TO THE GREEN ROOF SYSTEM IS KEY TO MAINTAINING A HEALTHY ROOF AND HEADING-OFF FUTURE MAINTENANCE DIFFICULTIES.

## INSTALLATION SEASON ESTABLISHMENT PERIOD

FALL / WINTER: SPRING & SUMMER OF THE FOLLOWING YEAR  
SPRING: UNTIL ONSET OF COOL FALL WEATHER  
SUMMER: THROUGH SUMMER OF THE FOLLOWING YEAR

DURING ESTABLISHMENT PERIOD, CHECK GREEN ROOF FREQUENTLY TO ENSURE THAT THE AUTOMATIC IRRIGATION SYSTEM (IF INSTALLED) IS FUNCTIONING PROPERLY, TO HAND-WATER (IF NECESSARY), AND TO WEED OUT ANY INVASIVE PLANTS. DOCUMENT ALL MAINTENANCE ACTIVITIES.

## RECOMMENDED GREEN ROOF WATERING SCHEDULE

- SEDUM CUTTINGS
- OVERHEAD WATERING TWICE DAILY FOR THE FIRST TWO (2) WEEKS
  - ONCE A DAY FOR THE THIRD WEEK
  - ONCE A WEEK FOR THE NEXT FOUR (4) WEEKS
  - FOR THE DURATION OF THE ESTABLISH. PERIOD AS-NEEDED, CHECK AT LEAST WEEKLY.
- SEDUM PLUGS, TILES, AND PRE-GROWN GREEN ROOF TRAYS
- ONCE A WEEK FOR THE FIRST FOUR (4) WEEKS
  - FOR THE DURATION OF THE ESTABLISH. PERIOD: AS-NEEDED, CHECK AT LEAST WEEKLY.

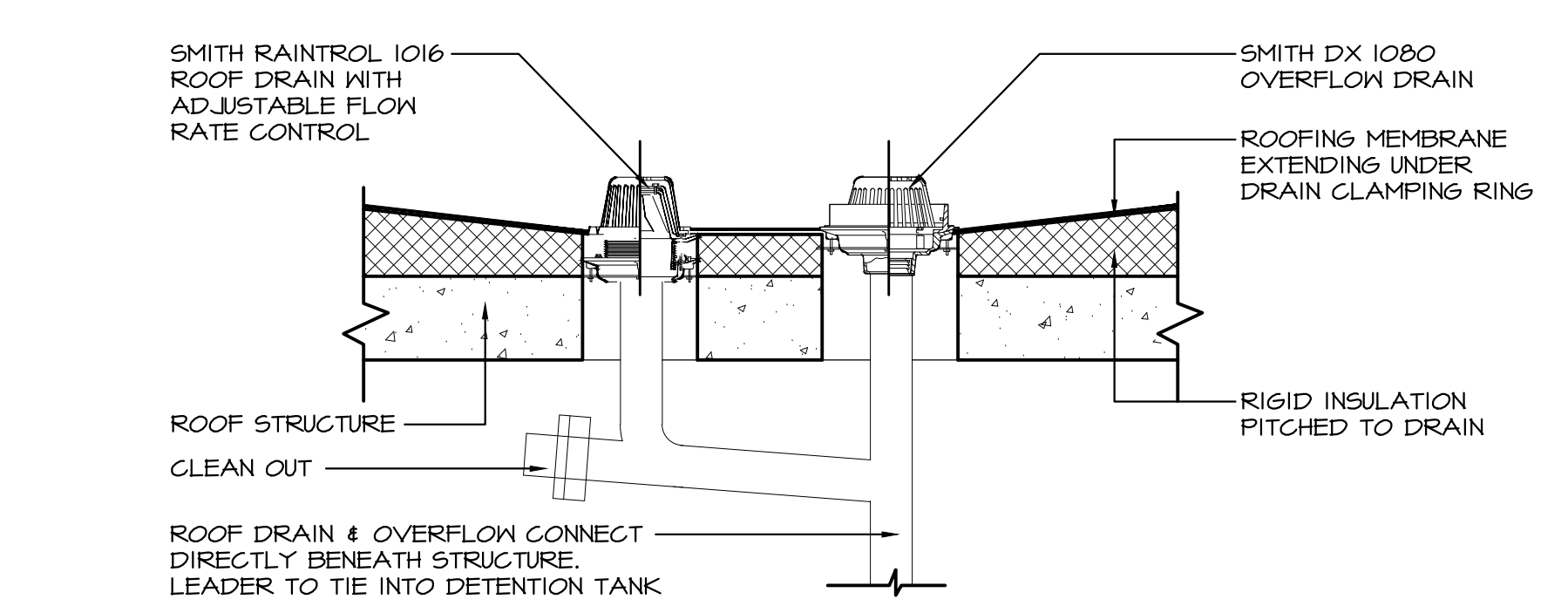
## ONGOING MAINTENANCE ACTIVITIES

A GREEN ROOF SHOULD BE INSPECTED AT LEAST ONCE PER MONTH DURING THE GROWING SEASON TO ASSESS VEGETATIVE COVER AND TO LOOK FOR LEAKS OR DRAINAGE PROBLEMS. DOCUMENT ALL MAINTENANCE ACTIVITIES.

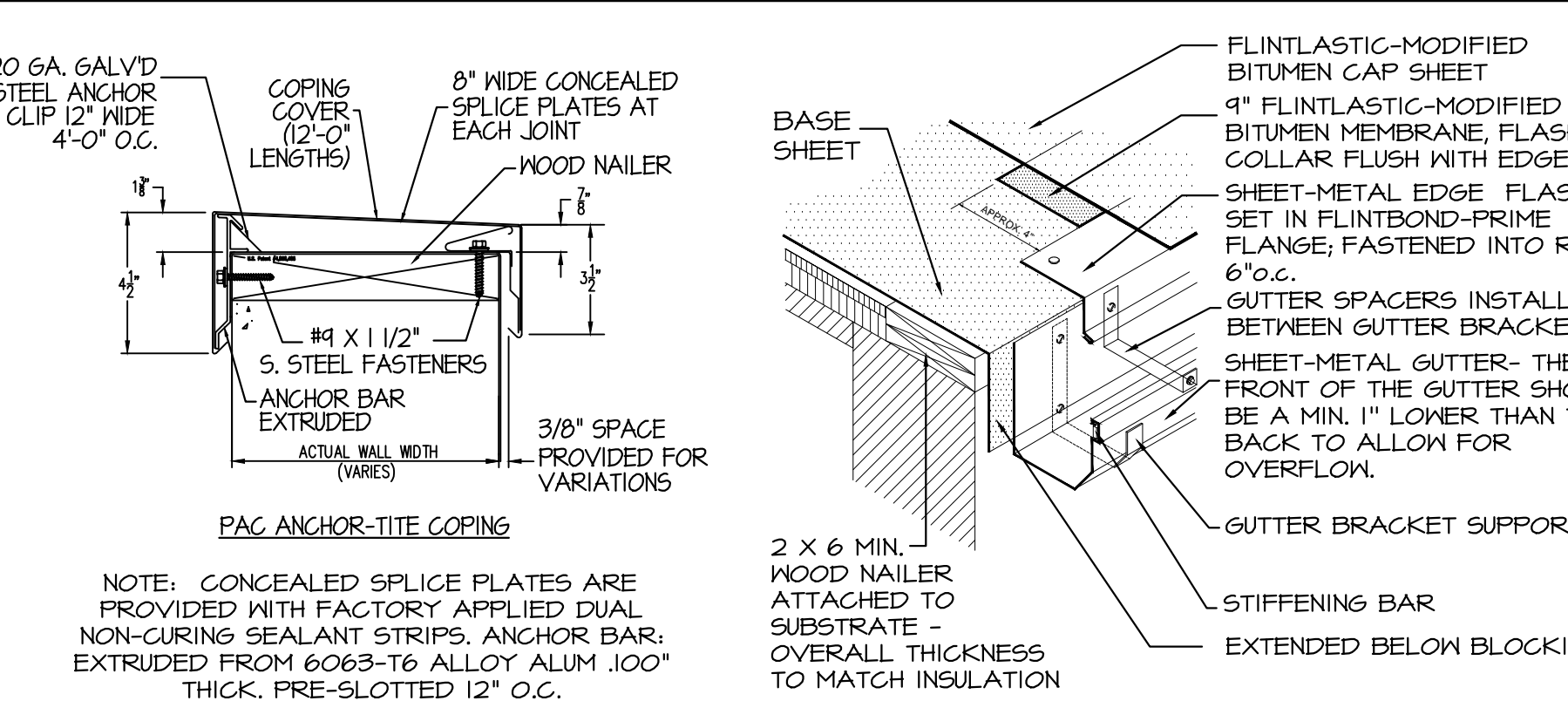
- REMOVE ALL DEBRIS THAT CAN BLOCK DRAINAGE AND SMOTHER GREEN ROOF PLANTS.
- HAND WEED, DO NOT DIG OR USE POINTED TOOLS WHERE THERE IS POTENTIAL TO HARM THE ROOT BARRIER OR WATERPROOF MEMBRANE.
- INSPECT ROOF DRAINS, DRAINAGE PATHS, SCUPPERS, AND GUTTERS TO ENSURE THEY ARE NOT OVERGROWN.
- REPLACE PLANTS & GROWING MEDIA AS NECESSARY.
- CHECK MOISTURE LEVELS AND WATER AS NECESSARY PER INSTALLERS RECOMMENDATIONS BUT DO NOT OVER WATER.
- REGULARLY CHECK IRRIGATION SYSTEM AND WINTERIZE YEARLY
- AVOID THE USE OF HERBICIDES, INSECTICIDES, AND FUNGICIDES.
- DO NOT POWER WASH

\* INFORMATION PROVIDED BY:  
COLUMBIA GREEN TECHNOLOGIES - INFO@COLUMBIA-GREEN.COM - WWW.COLUMBIA-GREEN.COM

## GREEN ROOF MAINTENANCE SCHEDULE



## ADJUSTABLE FLOW ROOF DRAIN W/ OVERFLOW DETAIL



## COPING CAP & EDGE FLASHING DETAILS

SCALE VARIES

**Minervini Vandermark Architecture**

Minervini Vandermark, LLC

360 Fourteenth St.  
Hoboken,  
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www.mvarchitecture.com

Frank J. Minervini, AIA

NJ License # 12576  
NY License # 03 0297 63

Anthony C. Vandemark, Jr. AIA

NJ License # 17698  
NY License # 32710-1

#	Date	Revision
-	07/06/17	ZONING SET VNA
-	07/04/17	ZONING SET
-	03/22/17	CLIENT REVIEW

Project Number : 17-1351  
Drawn by : MS  
Checked by : FJM, ACV  
Scale: : As noted

Client  
RAYMOND ESHAGHOFF  
BSG MANAGEMENT COMPANY

Address  
285 NEWARK AVENUE  
BLOCK 11004, LOT 6  
JERSEY CITY, NJ 07302

Project Description  
NEW 6 STORY, MIXED-USE  
BUILDING WITH A GROUND  
FLOOR COMMERCIAL UNIT, AND  
22 RESIDENTIAL UNITS

Sheet Title  
ROOF DETAILS

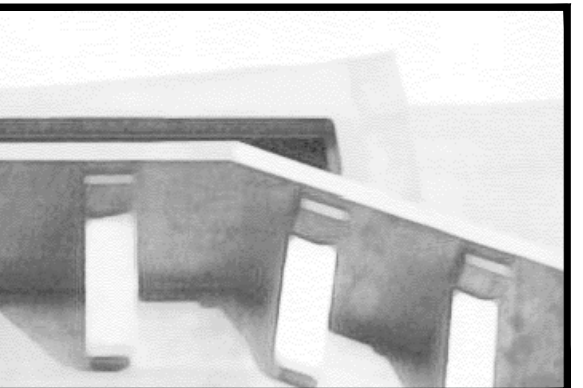
Drawing No.

Z-10





1 PROPOSED NEWARK AVENUE/3RD STREET (SOUTHWEST) ELEVATION  
SCALE 3/16" = 1'-0"



Minervini Vandermark  
Architecture

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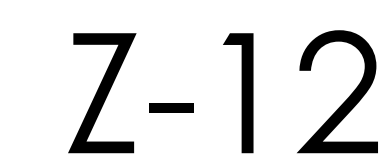
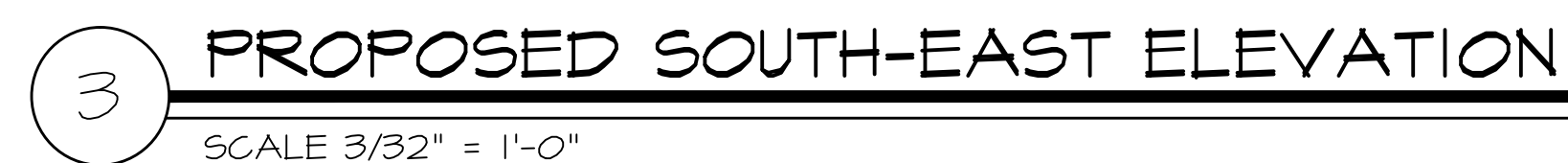
Project Description  
NEW 6 STORY, MIXED-USE  
BUILDING WITH A GROUND  
FLOOR COMMERCIAL UNIT, AND  
22 RESIDENTIAL UNITS

Sheet Title  
PROPOSED ELEVATIONS:  
NEWARK AVE./3RD STREET

Drawing No.

Z-11









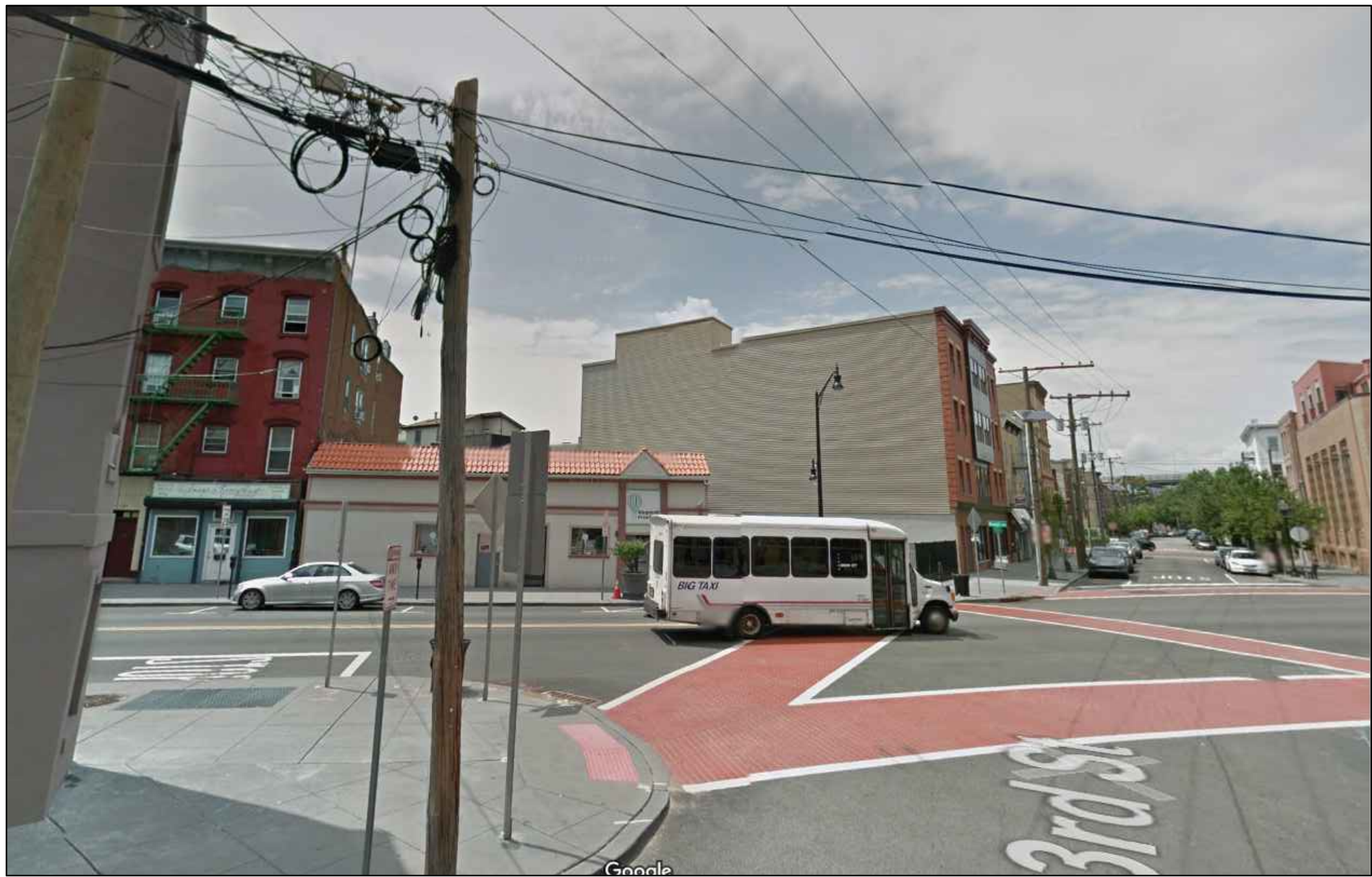
VIEW FROM NEWARK AVE. LOOKING NORTH - WEST

1  
N.T.S.



VIEW FROM NEWARK AVE. LOOKING SOUTH - EAST

2  
N.T.S.



VIEW FROM CORNER OF THIRD ST. AND NEWARK AVE. LOOKING WEST

3  
N.T.S.



285 NEWARK AVE.

4  
N.T.S.



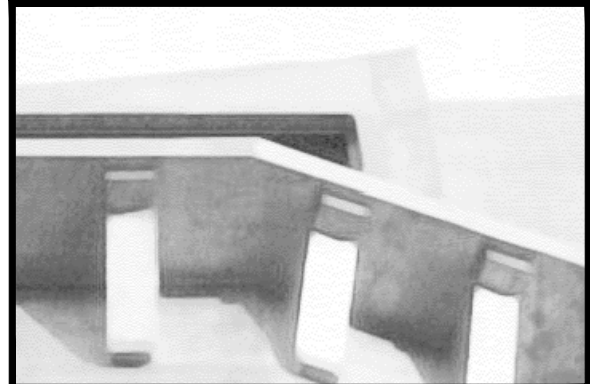
285 NEWARK AVE.

5  
N.T.S.



AERIAL VIEW

6  
N.T.S.



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Sheet Title  
PHOTO BOARD

Drawing No.

Z-13